

IGLU MASCOT II
13A CHURCH AVENUE,
MASCOT



Architectural Drawings			
Drawing Number	Drawing Title	Scale	Current Revision
A00.000	Drawing List	N.T.S	B
A01.001	Site and Analysis Plan	1:500	C
A03.000	Ground	1:200	G
A03.001	Level 01	1:200	G
A03.002	Typical Lower Levels - L02- 05	1:200	C
A03.006	Level 06	1:200	D
A03.007	Typical Upper Levels - L07 - L11	1:200	C
A03.012	Level 12	1:200	C
A03.013	Roof Level	1:200	B
A09.001	North Elevation (Church Ave)	1:100	C
A09.002	East Elevation	1:100	C
A09.003	South Elevation	1:100	C
A09.004	West Elevation	1:100	C
A10.001	Section AA	1:200	C
A10.002	Section BB	1:200	C
A10.003	Section CC	1:200	B
A13.101	Typical Room Modules	1:20	B
A21.001	Shadow analysis diagrams - Winter Solstice	1:750	C
A21.002	Shadow analysis diagrams - Equinox	1:750	C
A21.003	Views from the sun - Winter Solstice	N.T.S	B
A21.004	Views from the sun - Equinox	N.T.S	B
A22.001	Gross Floor Area Calculation Plans	1:500	C
A23.001	Render 1	N.T.S	B
A23.002	Render 2	N.T.S	B
Grand total: 24			



BATESSMART

IGLU MASCOT II

S12778



Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL amended to 48.9

Legend:

- Pedestrian entry
- Through site link
- Boundary
- Existing boundary to be realigned
- Existing trees to be retained
- Winter equinox sun

IGLU MASCOT II
13A CHURCH AVE

A01
Site and Analysis Plan



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	CH/CC/DC	HC
Revision	Date	Description	Initial	Checked

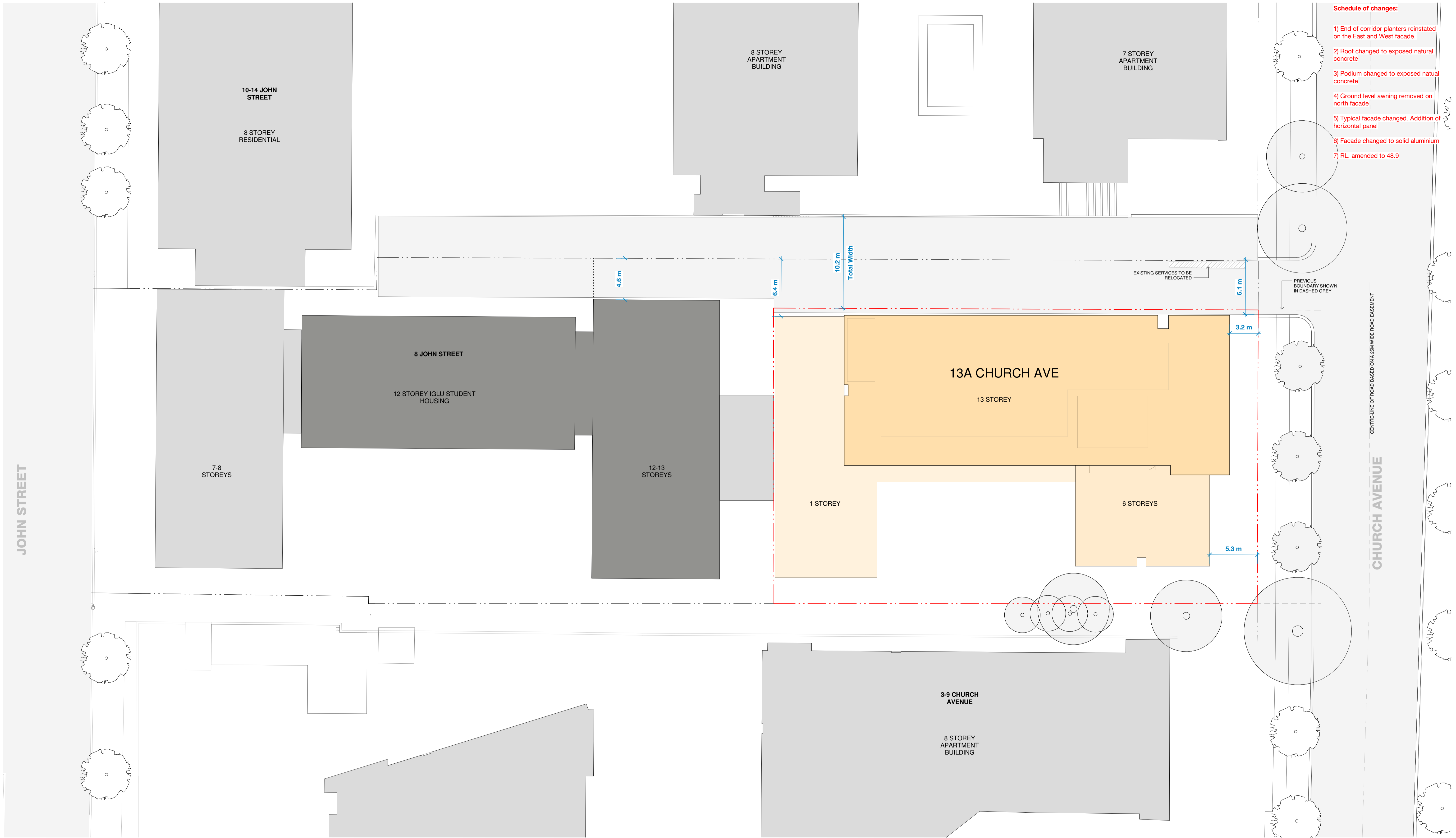
Scale	As indicated	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:05:30 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	
Drawing no.	A01.001	Revision C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART™



Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9

**IGLU MASCOT II
13A CHURCH AVE**



Site
Laneway Access to 8 John Street

Revision	Date	Description	Initial	Checked
D	04/10/24	For Revised DA	MH	CC
C	24/07/24	For DA RFI	CC	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	13/05/24	For Information	CC	CC

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

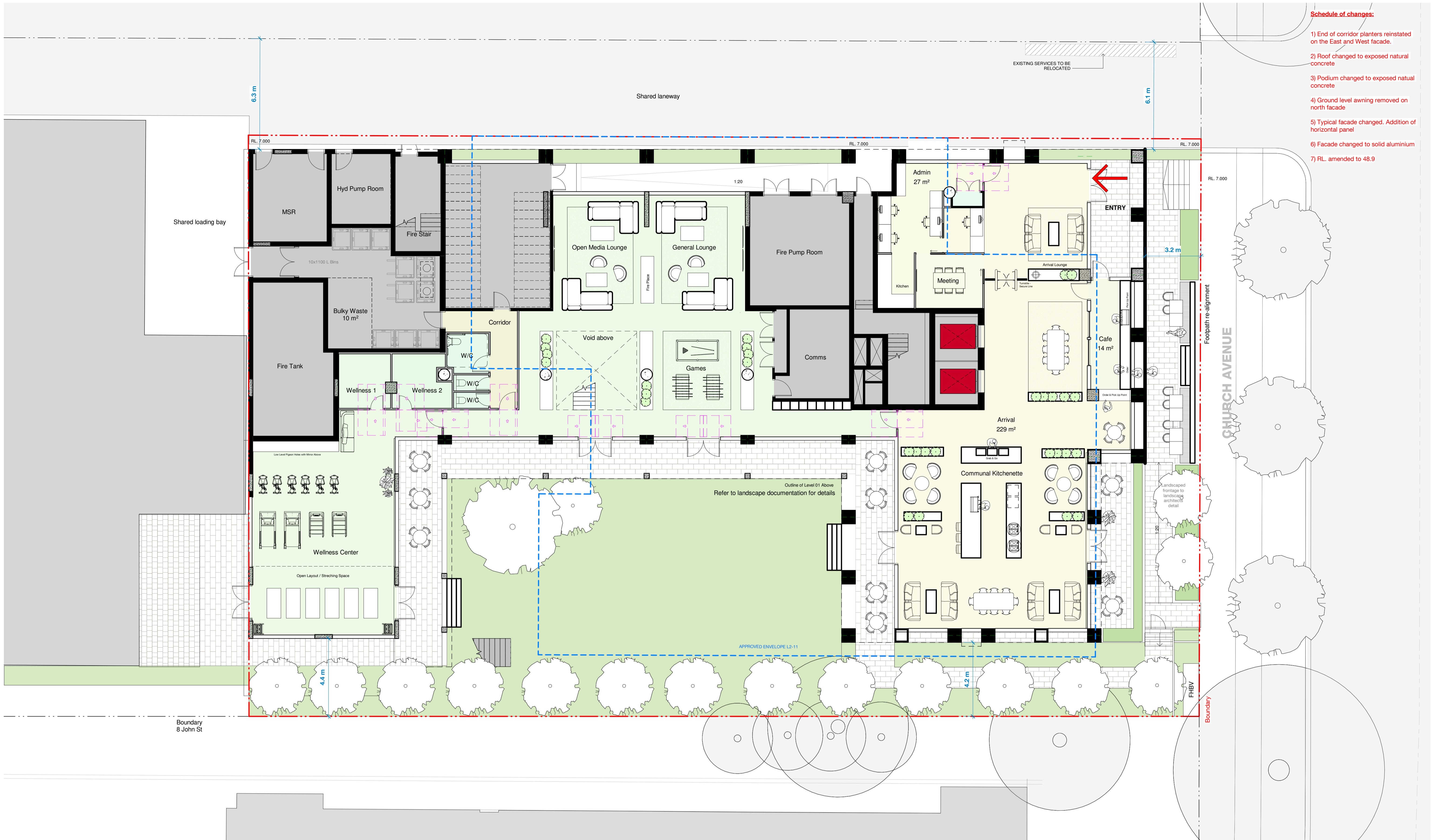
Scale	As indicated	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:05:35 PM	
BIM	@\Users\CAC\Documents\241003_13ACHURHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	Revision
Drawing no.	A01.004	D

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



- Schedule of changes:**
- 1) End of corridor planters reinstated on the East and West facade.
 - 2) Roof changed to exposed natural concrete
 - 3) Podium changed to exposed natural concrete
 - 4) Ground level awning removed on north facade
 - 5) Typical facade changed. Addition of horizontal panel
 - 6) Facade changed to solid aluminium
 - 7) RL. amended to 48.9

Legend:

- Retained trees
- New trees (refer to landscape documentation for details)
- Boundary
- Adjacent Iglu Mascot I Boundary
- Approved Envelope
- Building line above
- Landscape

**IGLU MASCOT II
13A CHURCH AVE**

General Arrangement Plan
Ground



G	04/10/24	For Revised DA	MH	CC
F	31/05/24	For DA RFI	CO/EM	CC
E	28/05/24	For Information	CC	EM
D	22/05/24	For Information	EM	EM
C	10/05/24	For Information	EM	EM
B	26/02/24	FOR INFORMATION	CC	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

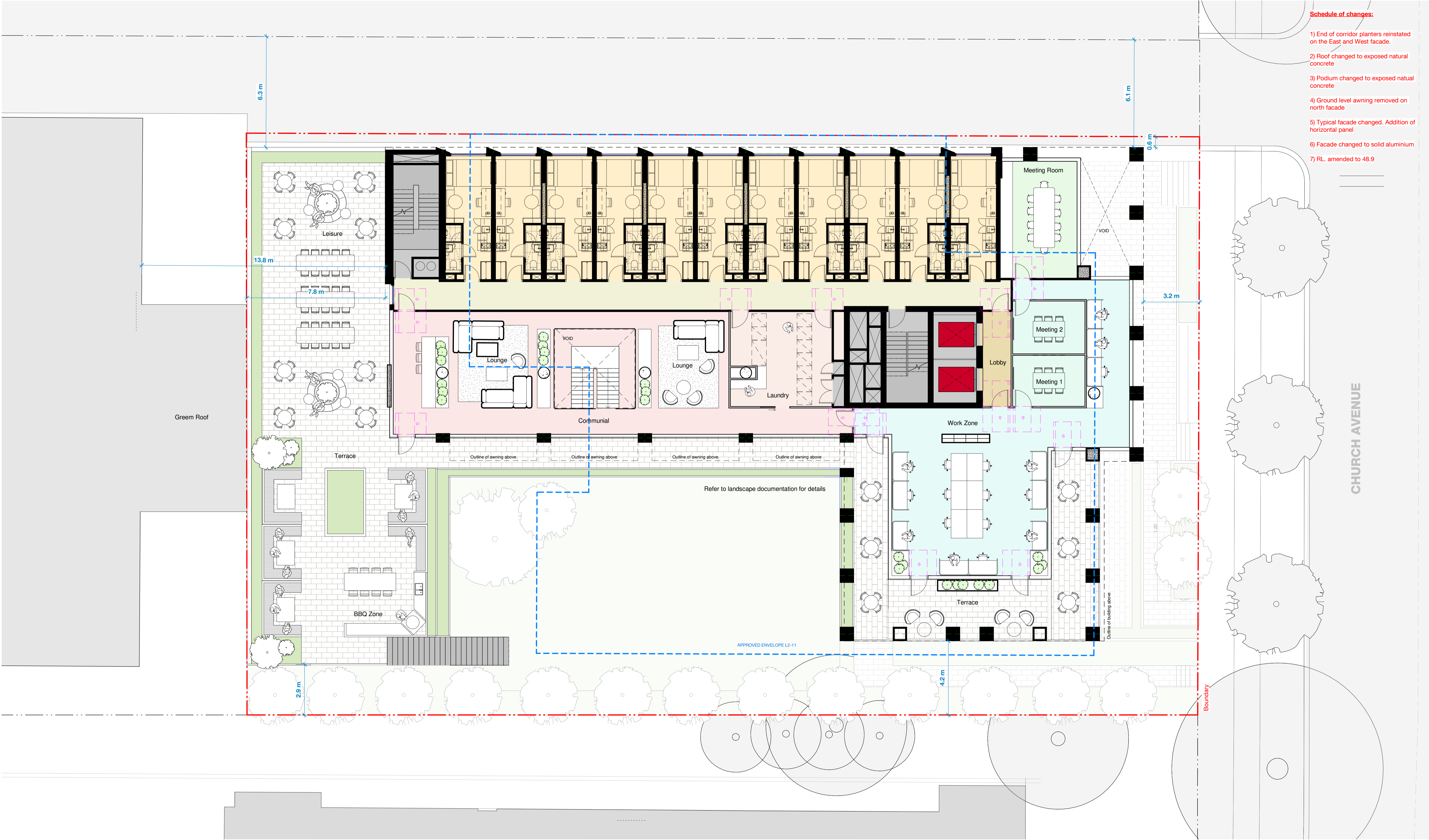
Scale	1 : 100 @ A1		
Drawn	Author	Checked	Checker
Project no.	S12778		
Status	Development Application		
Plot Date	4/10/2024 2:05:41 PM		
BIM	G:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt		
Drawing no.	A03.000	Revision	G

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



- Schedule of changes:**
- 1) End of corridor planters reinstated on the East and West facade.
 - 2) Roof changed to exposed natural concrete
 - 3) Podium changed to exposed natural concrete
 - 4) Ground level awning removed on north facade
 - 5) Typical facade changed. Addition of horizontal panel
 - 6) Facade changed to solid aluminium
 - 7) RL. amended to 48.9

Legend:

- Retained trees
- New trees (refer to landscape documentation for details)
- Boundary
- Adjacent Iglu Mascot I Boundary
- Approved Envelope
- Building line above
- Landscape

**IGLU MASCOT II
13A CHURCH AVE**

General Arrangement Plan
Level 01



G	04/10/24	For Revised DA	MH	CC
F	31/05/24	For DA RFI	CC/EM	CC
E	28/05/24	For Information	CC	EM
D	22/05/24	For Information	EM	EM
C	17/05/24	For Information	EM	EM
B	10/05/24	For Information	EM	EM
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

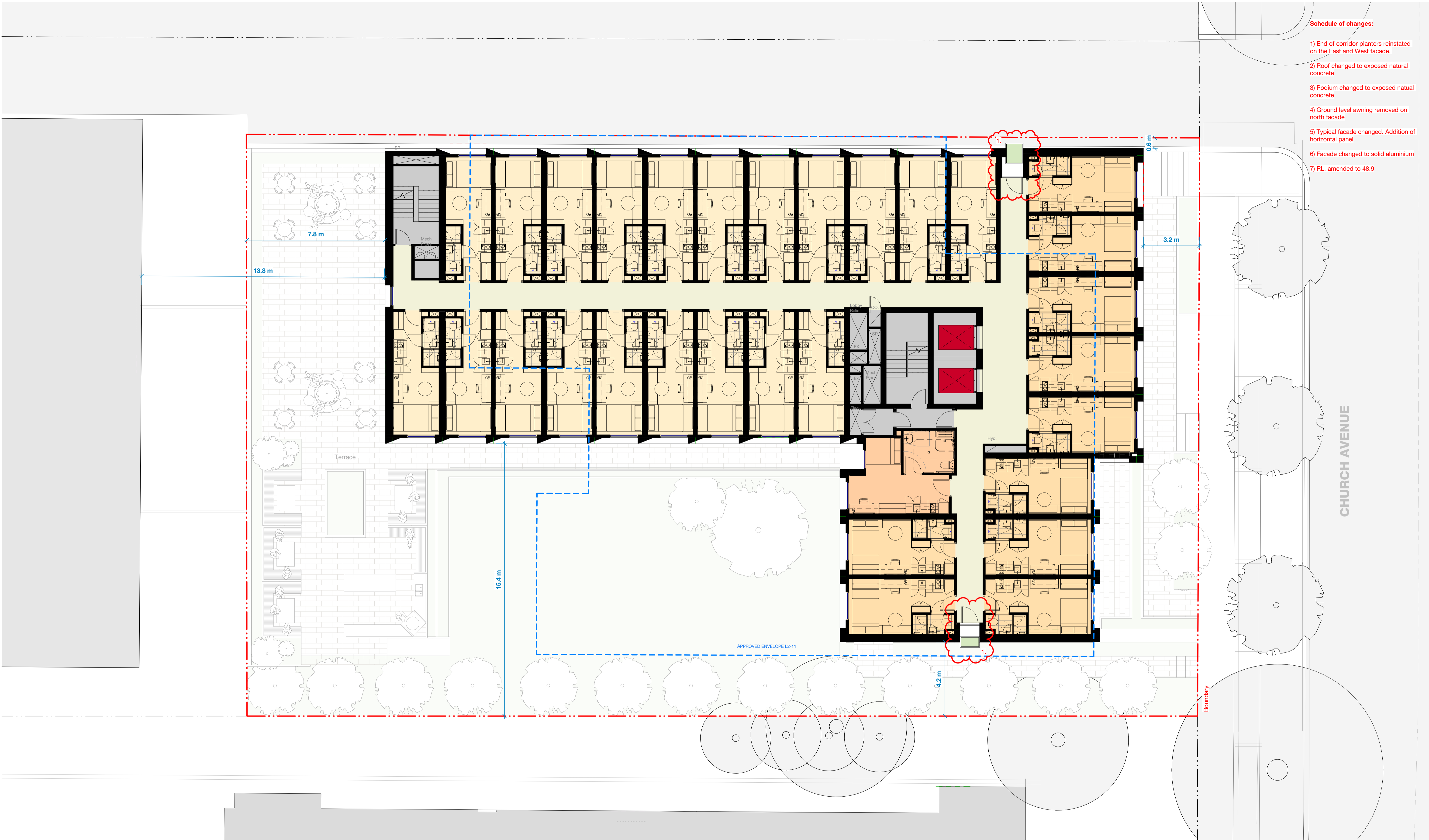
Scale	1 : 100	@ A1
Drawn	Author	Checked
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:05:46 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayusx.rvt	
Drawing no.	A03.001	Revision
		G

Melbourne 1 Nicholson Street
Surry Hills NSW 2010 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



Legend:

- Retained trees
- New trees (refer to landscape documentation for details)
- Boundary
- Adjacent Iglu Mascot I Boundary
- Approved Envelope
- Building line above
- Landscape

IGLU MASCOT II
13A CHURCH AVE

General Arrangement Plan
Typical Lower Levels - L02- 05

C	04/10/24	For Revised DA	MM	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.



Scale	1 : 100	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:05:53 PM	
BIM	@\Users\CAC\Documents\241003_13ACHURHAVE_BS_FOR DA AMENDMENTS-ARCH_R0203_ccayseux.rvt	Revision
Drawing no.	A03.002	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART™



Legend:



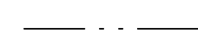
Retained trees



New trees (refer to landscape documentation for details)



Boundary



Adjacent Iglu Mascot I Boundary



Approved Envelope



Building line above



Landscape

IGLU MASCOT II
13A CHURCH AVE

Level 06



D	04/10/24	For Revised DA	MH	CC
C	31/05/24	For DA RFI	CC/EM	CC
B	29/05/24	For Information	CC	EM
A	18/12/23	Development Application	DH/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

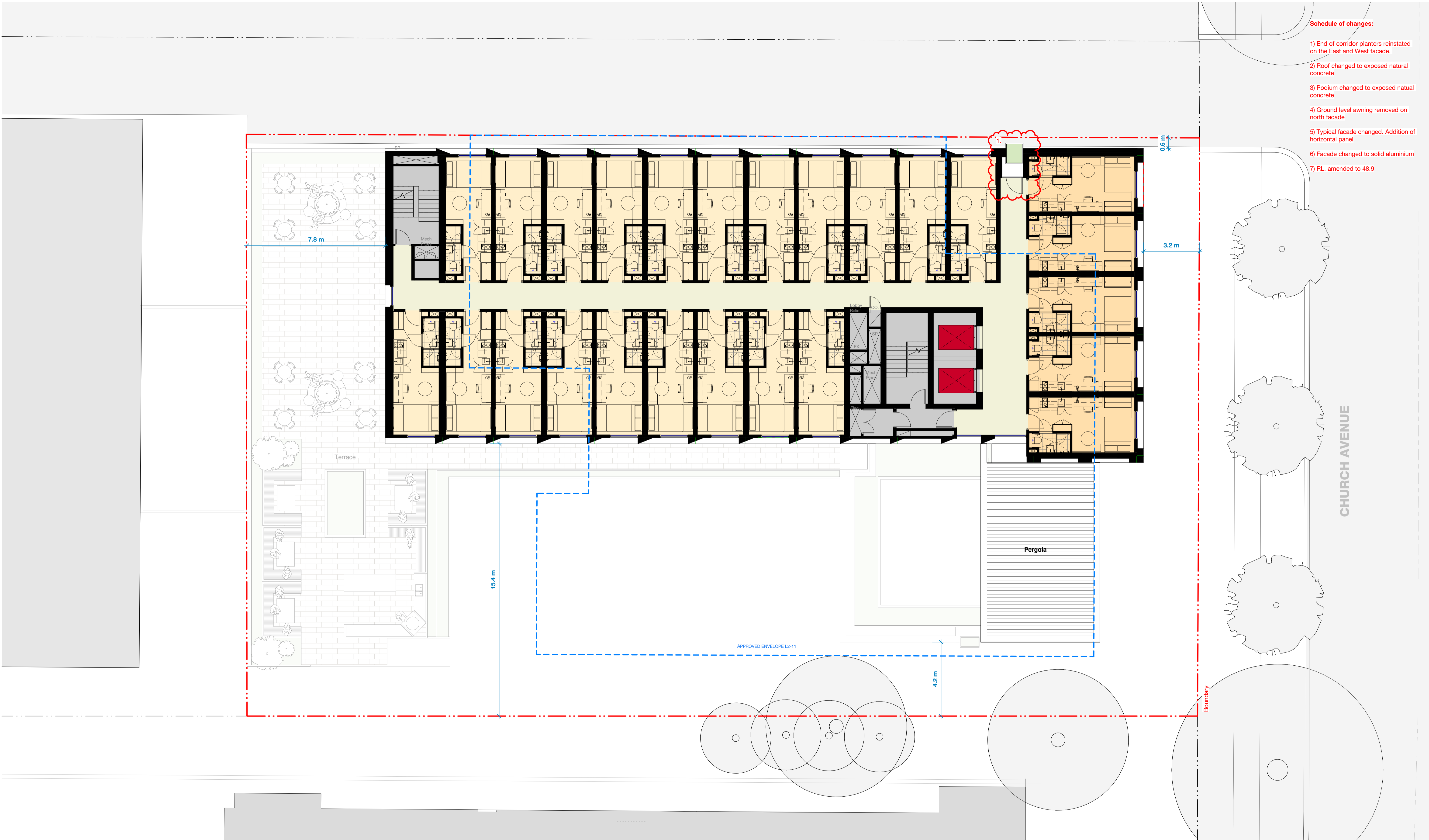
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project no.	S12778		
Status	Development Application		
Plot Date	4/10/2024 2:06:01 PM		
BIM	C:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCHI_F0203_CSP\dwg.dwg		
Drawing no.	Revision		
A03.006	D		

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
<http://www.batesmart.com.au>

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
<http://www.batesmart.com.au>

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART™



- Schedule of changes:**
- 1) End of corridor planters reinstated on the East and West facade.
 - 2) Roof changed to exposed natural concrete
 - 3) Podium changed to exposed natural concrete
 - 4) Ground level awning removed on north facade
 - 5) Typical facade changed. Addition of horizontal panel
 - 6) Facade changed to solid aluminium
 - 7) RL. amended to 48.9

CHURCH AVENUE

Legend:

- Retained trees
- New trees (refer to landscape documentation for details)
- Boundary
- Adjacent Iglu Mascot I Boundary
- Approved Envelope
- Building line above
- Landscape

**IGLU MASCOT II
13A CHURCH AVE**

**General Arrangement Plan
Typical Upper Levels - L07 - L11**



C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DH/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

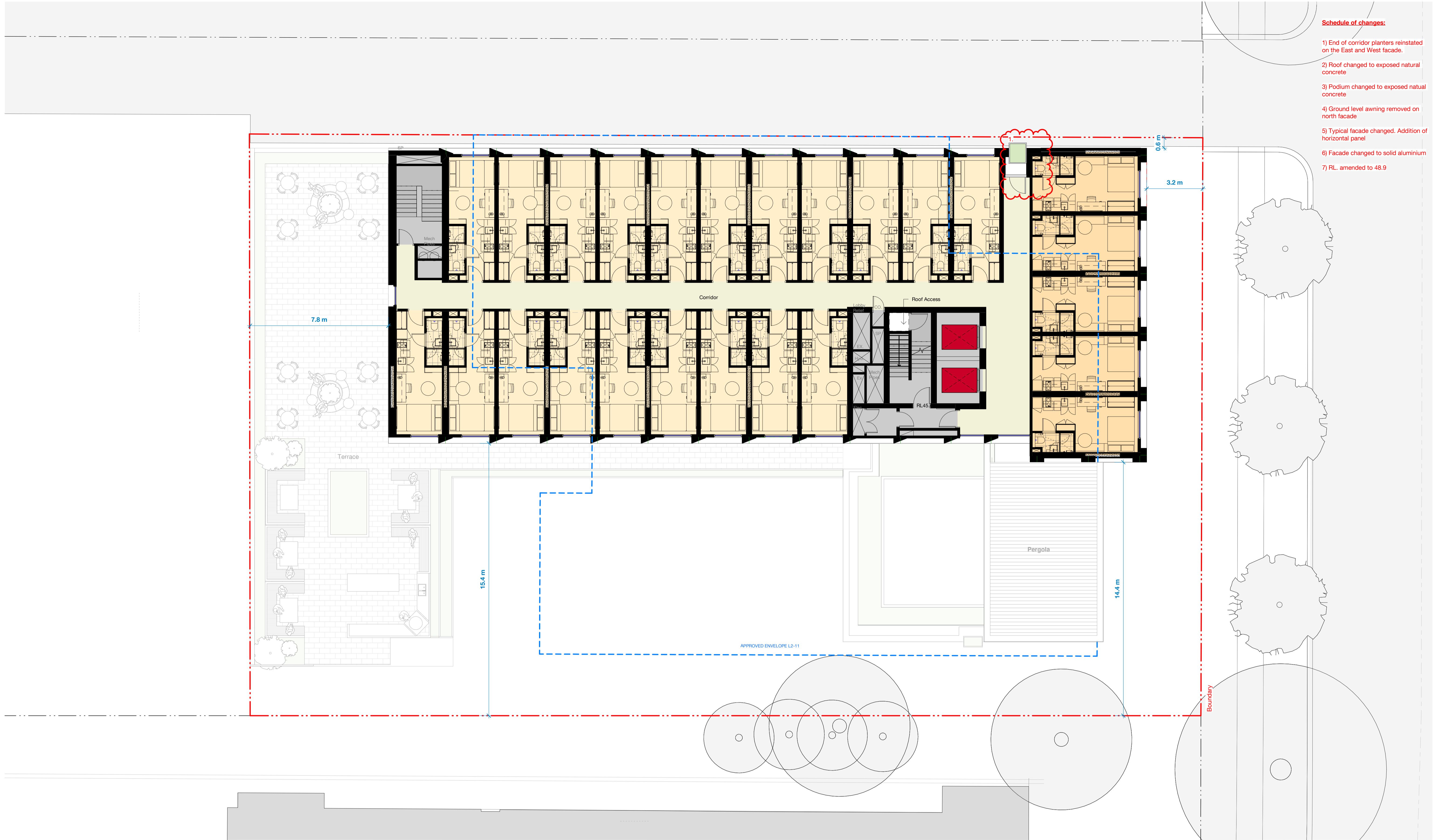
Scale	1 : 100	@ A1
Drawn	DC	Checked DL
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:06:18 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	Revision
Drawing no.	A03.007	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL amended to 48.9

IGLU MASCOT II
13A CHURCH AVE

General Arrangement Plan
Level 12



C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DH/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

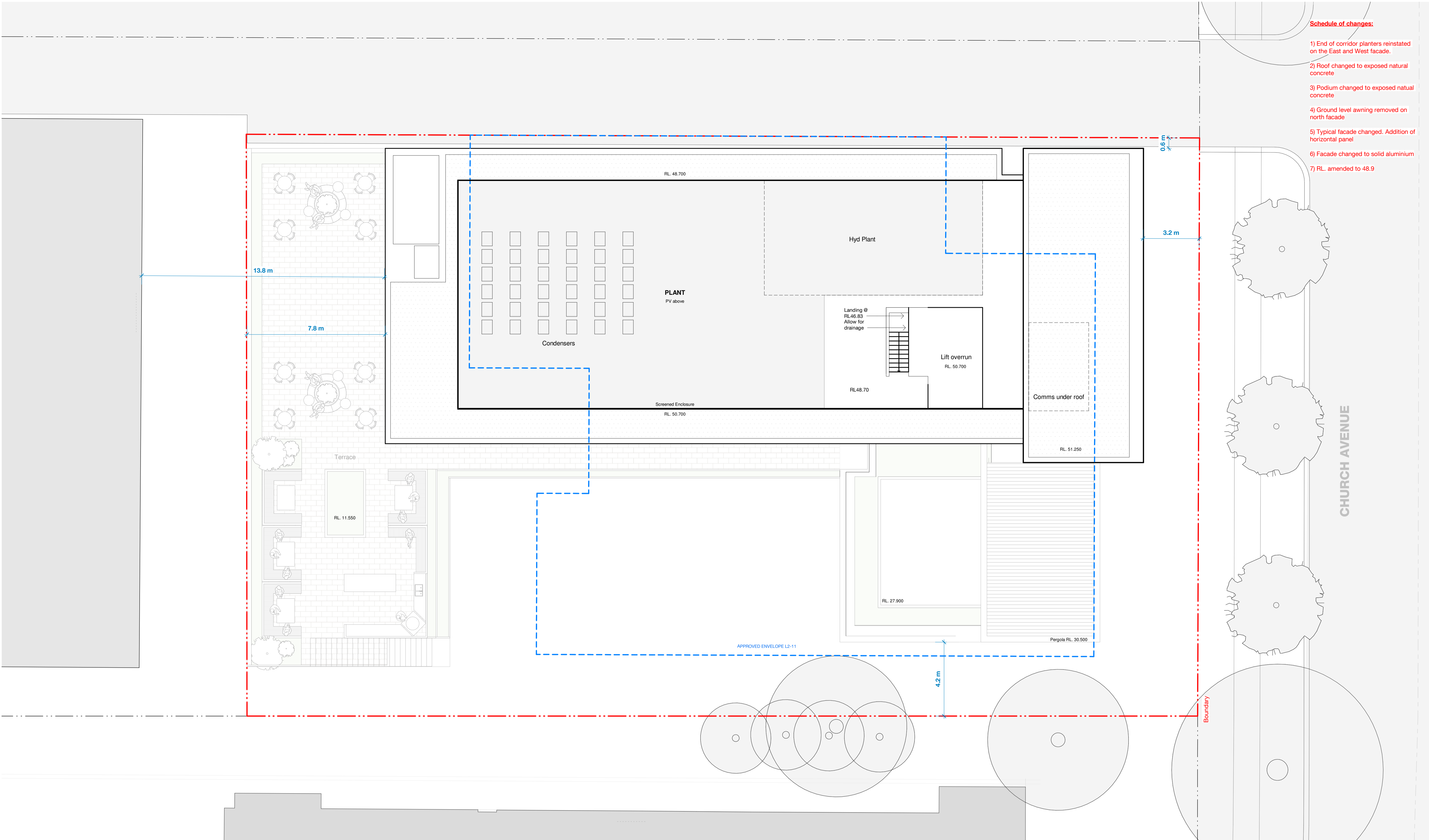
Scale	1 : 100	@ A1
Drawn	DC	Checked DL
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:06:36 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayusx.rvt	Revision
Drawing no.	A03.012	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART™



- Schedule of changes:**
- 1) End of corridor planters reinstated on the East and West facade.
 - 2) Roof changed to exposed natural concrete
 - 3) Podium changed to exposed natural concrete
 - 4) Ground level awning removed on north facade
 - 5) Typical facade changed. Addition of horizontal panel
 - 6) Facade changed to solid aluminium
 - 7) RL. amended to 48.9

CHURCH AVENUE

Legend:

- Retained trees
- New trees (refer to landscape documentation for details)
- Boundary
- Adjacent Iglu Mascot I Boundary
- Approved Envelope
- Building line above
- Landscape

**IGLU MASCOT II
13A CHURCH AVE**

**General Arrangement Plan
Roof Level**



C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DH/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project no.	S12778		
Status	Development Application		
Plot Date	4/10/2024 2:13:14 PM		
BIM	G:\Users\CAC\Documents\241003_13ACHURHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt		
Drawing no.	A03.013	Revision	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9

Legend:

- Boundary
- Existing Boundary to be realigned

Materials:

1. Masonary
2. Class 02 Concrete
3. Planter boxes
4. Window system - Performance Vision Glass
5. Metal window frame
6. Perforated metal
7. Colour, dark red



IGLU MASCOT II
13A CHURCH AVE

North Elevation (Church Ave)



Scale	1 : 100	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:06:54 PM	

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

IGLU MASCOT II
13A CHURCH AVENUE



Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL amended to 48.9

Legend:

— • — Boundary

— - — Existing Boundary to be realigned

Materials:

1. Masonry
2. Class 02 Concrete
3. Planter boxes
4. Metal cladding
Colour, light red
5. Metal cladding
Colour, dark red
6. Perforated metal
Colour, dark red
7. Window system - Performance Vision Glass
Metal window frame
8. Window system-Shadow box glazing
Metal window frame
9. Metal framed glass fall protection
10. Metal Palisade Balustrades
11. Planting
Plant Selection by Landscape Architects



IGLU MASCOT II
13A CHURCH AVE



East Elevation

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project no.	S12778		
Status	Development Application		
Plot Date	4/10/2024 2:07:11 PM		
BIM	G:\Users\CAC\Documents\241003_134CHURCHAVE_BS_Fort DA AMENDMENTS-ARCH_F2023\cawbuss.dwg		
Drawing no.	Revision		
A09.002		C	

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
<http://www.batesmart.com.au>

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
<http://www.batesmart.com.au>

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART.



Schedule of changes:

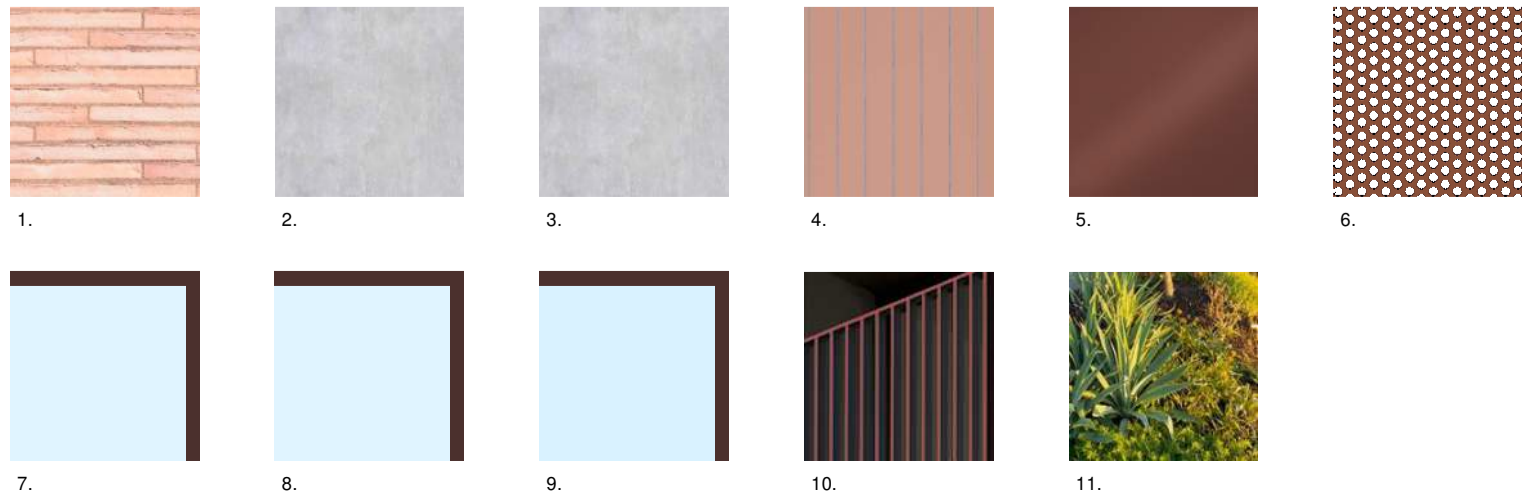
- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL amended to 48.9

Legend:

- Boundary
--- Existing Boundary to be realigned

Materials:

1. Masonary
2. Glass 02 Concrete
3. Planter boxes
4. Metal cladding Colour, light red
5. Metal cladding Colour, dark red
6. Perforated metal Colour, dark red
7. Window system - Performance Vision Glass Metal window frame
8. Window system - Shadow box glazing Metal window frame
9. Metal framed glass fall protection
10. Metal Palisade Balustrades
11. Planting Plant Selection by Landscape Architects



C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DH/CC/DC	HC
Revision	Date	Description	Initial	Checked

**IGLU MASCOT II
13A CHURCH AVE**



South Elevation

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

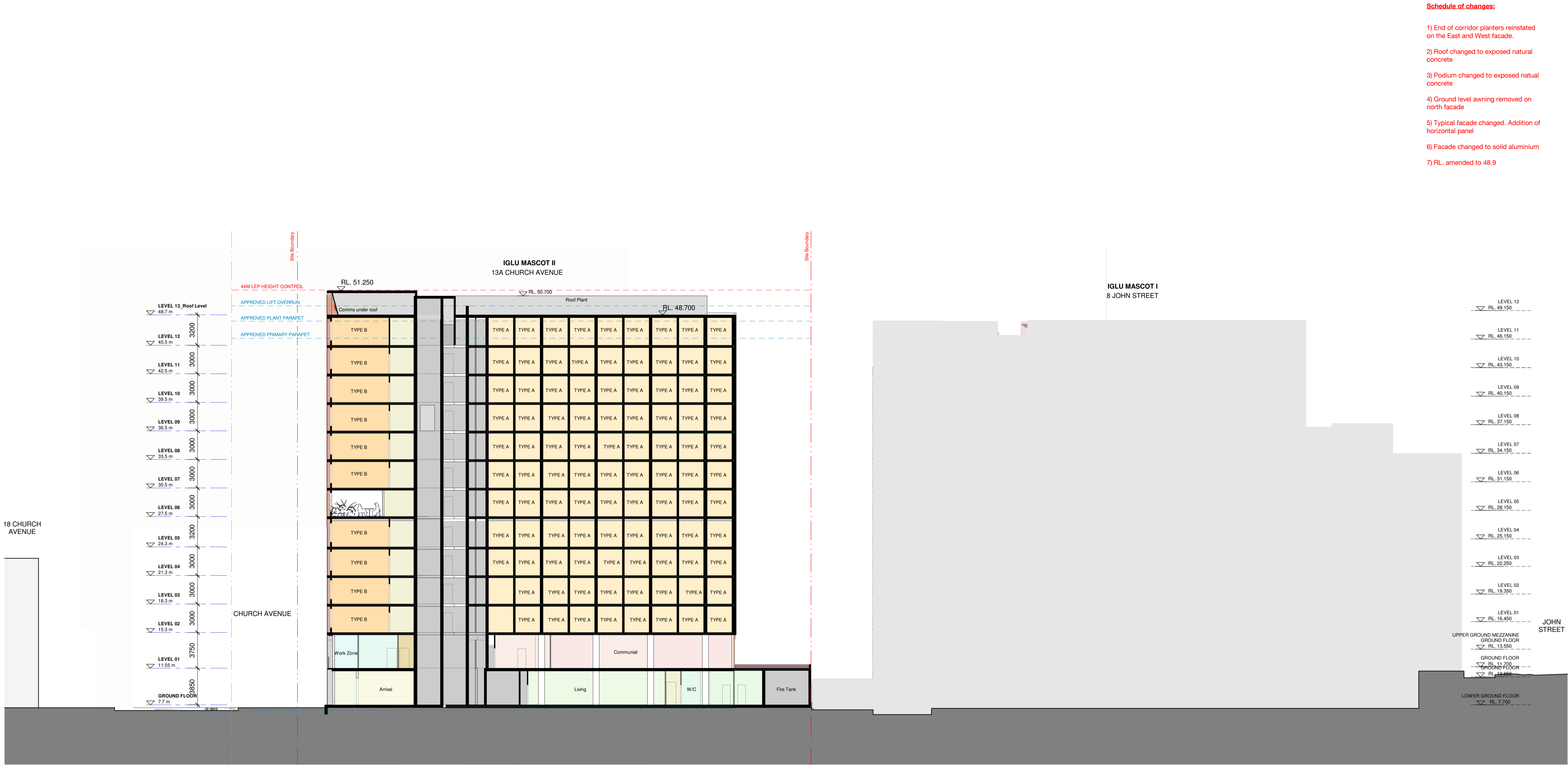
Scale	1 : 100	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:07:29 PM	
BIM	@\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayusx.rvt	
Drawing no.	A09.003	Revision C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART



- Schedule of changes:**
- 1) End of corridor planters reinstated on the East and West facade.
 - 2) Roof changed to exposed natural concrete
 - 3) Podium changed to exposed natural concrete
 - 4) Ground level awning removed on north facade
 - 5) Typical facade changed. Addition of horizontal panel
 - 6) Facade changed to solid aluminium
 - 7) RL. amended to 48.9

Legend:

- Boundary
- Existing Boundary to be realigned

IGLU MASCOT II 13A CHURCH AVE



Section AA

C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	As indicated	@ A1
Drawn	DC	Checked DL
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:08:02 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	Revision
Drawing no.	A10.001	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9



 Boundary
 Existing Boundary to be realigned



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	As indicated	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:08:20 PM	
BIM	G:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH E0203_cayteux.rvt	

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesSMART.com.au
<http://www.batesSMART.com.au>

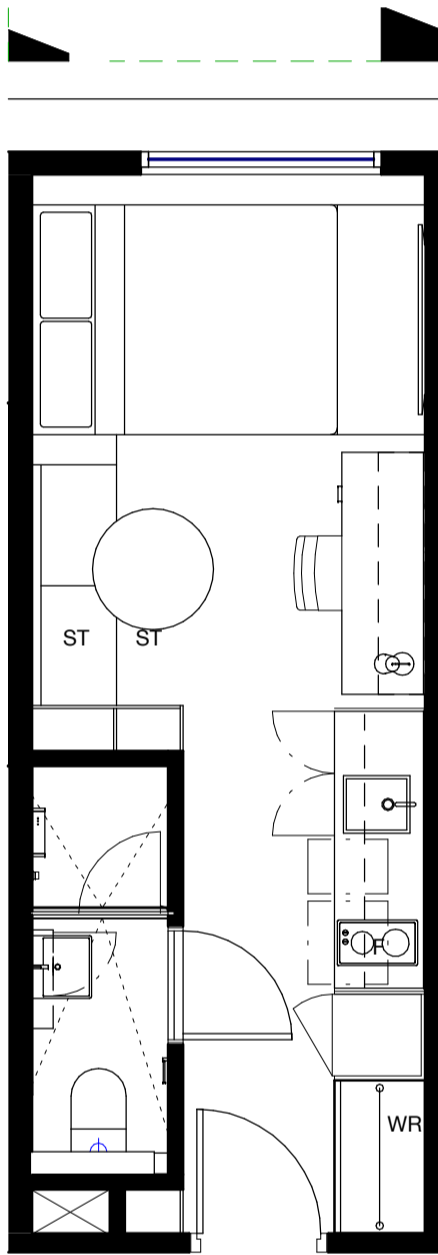
Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesSMART.com.au
<http://www.batesSMART.com.au>

Bates Smart Pty Ltd ABN 70 004 999 400

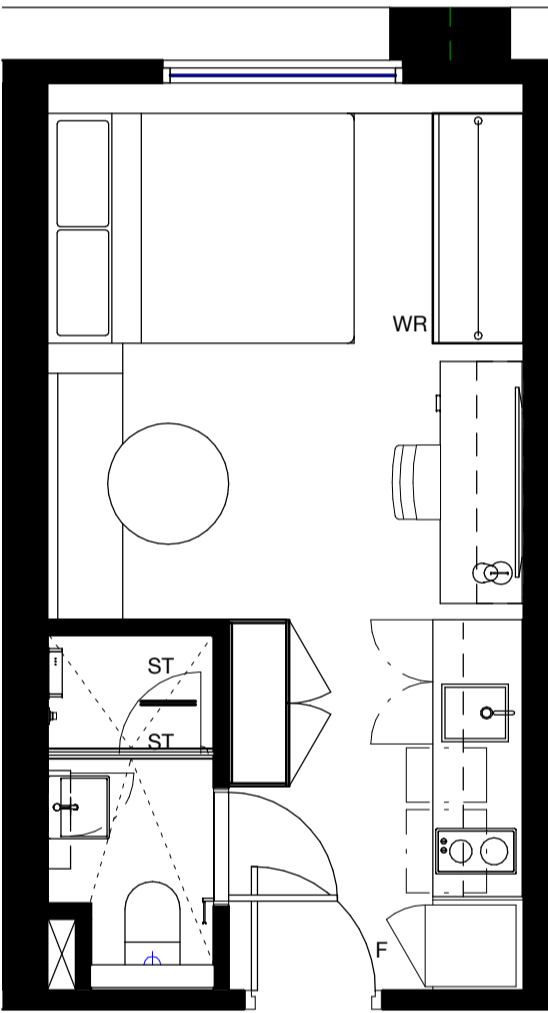
BATESSMART™

Schedule of changes:

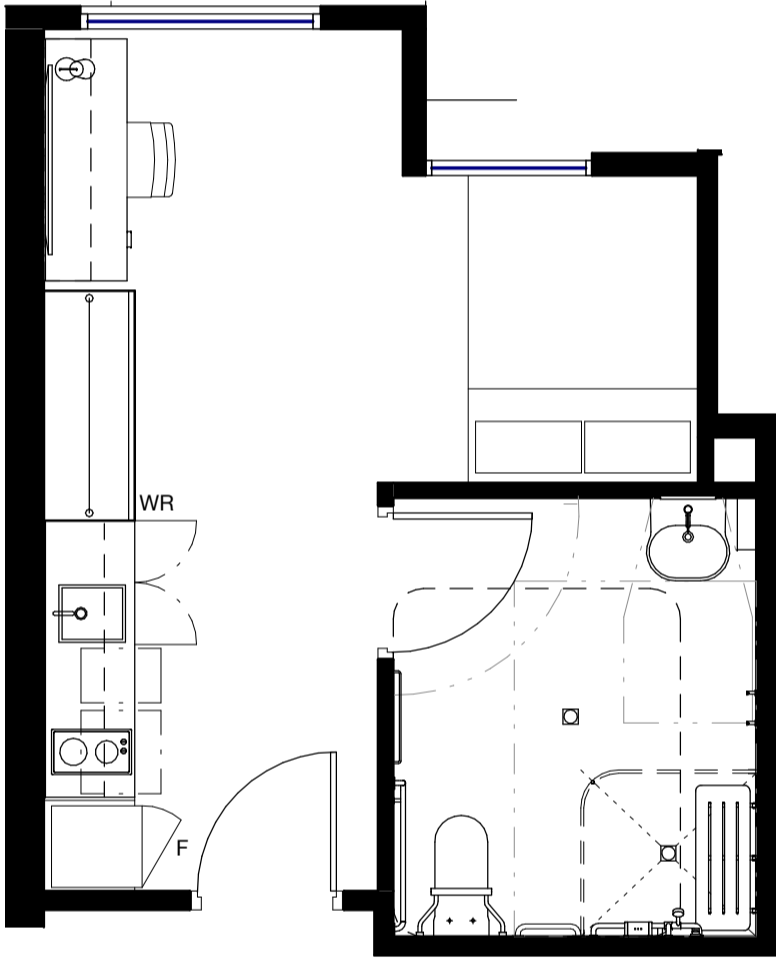
- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natual concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9



Typical East-West Studio- Type A
- 18.2 m²
- 2.6 w x 7 d



Typical North-South Studio -Type B
-18.9 m²
- 3.15 w x 6 d



Typical Accessible Studio -Type C
- 24.6 m²
- 3.15 w x 6 d

Legend

F Fridge
ST Storage
WR Wardrobe

IGLU MASCOT II
13A CHURCH AVE



Typical Room Modules

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

B	04/10/24	For Revised DA	MH	CC
A	18/12/23	Development Application	DEH/CC/DC	HC
Revision	Date	Description	Initial	Checked

Scale	As indicated	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:08:34 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	Revision
Drawing no.	A13.101	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

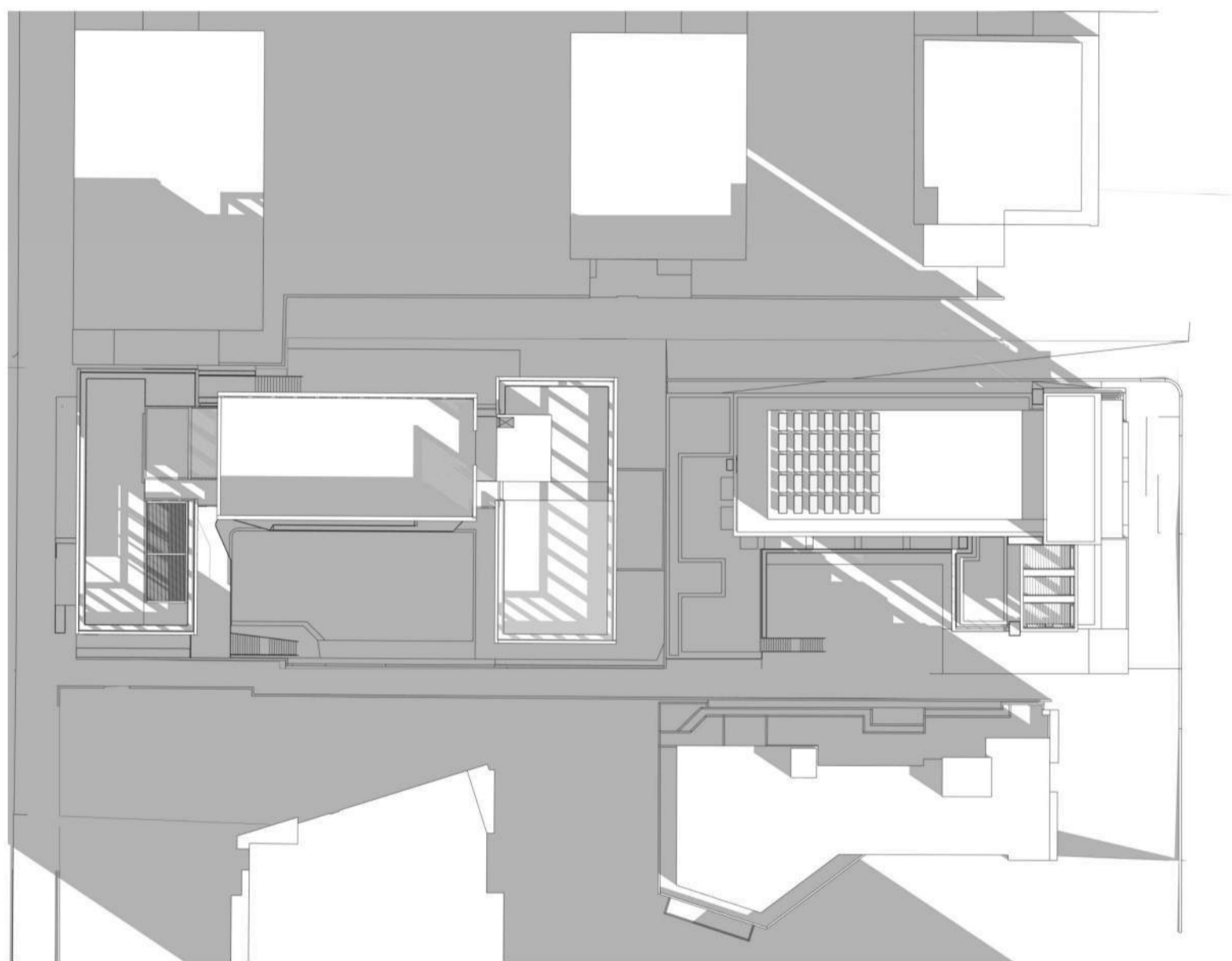
Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

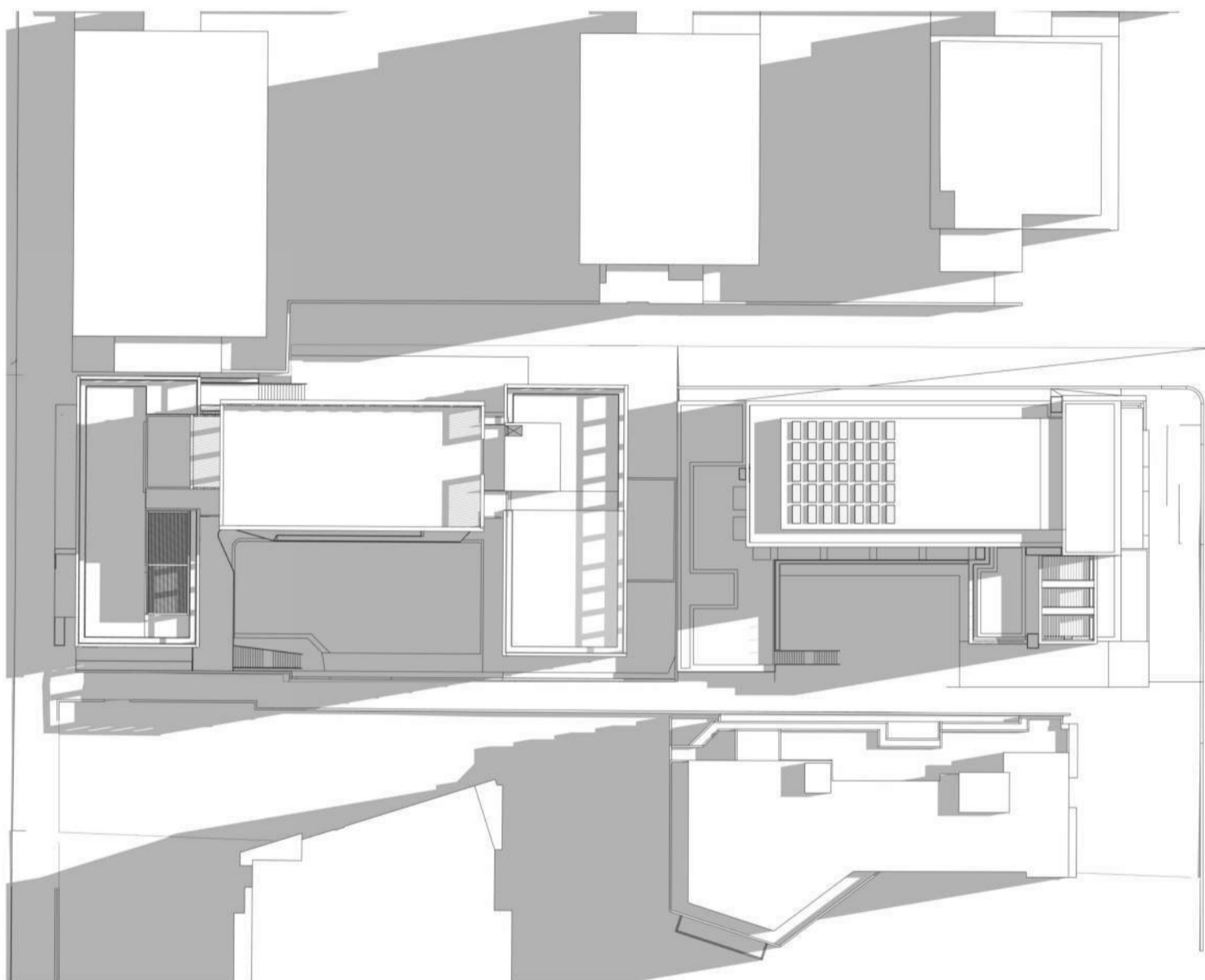
BATESSMART™

Schedule of changes:

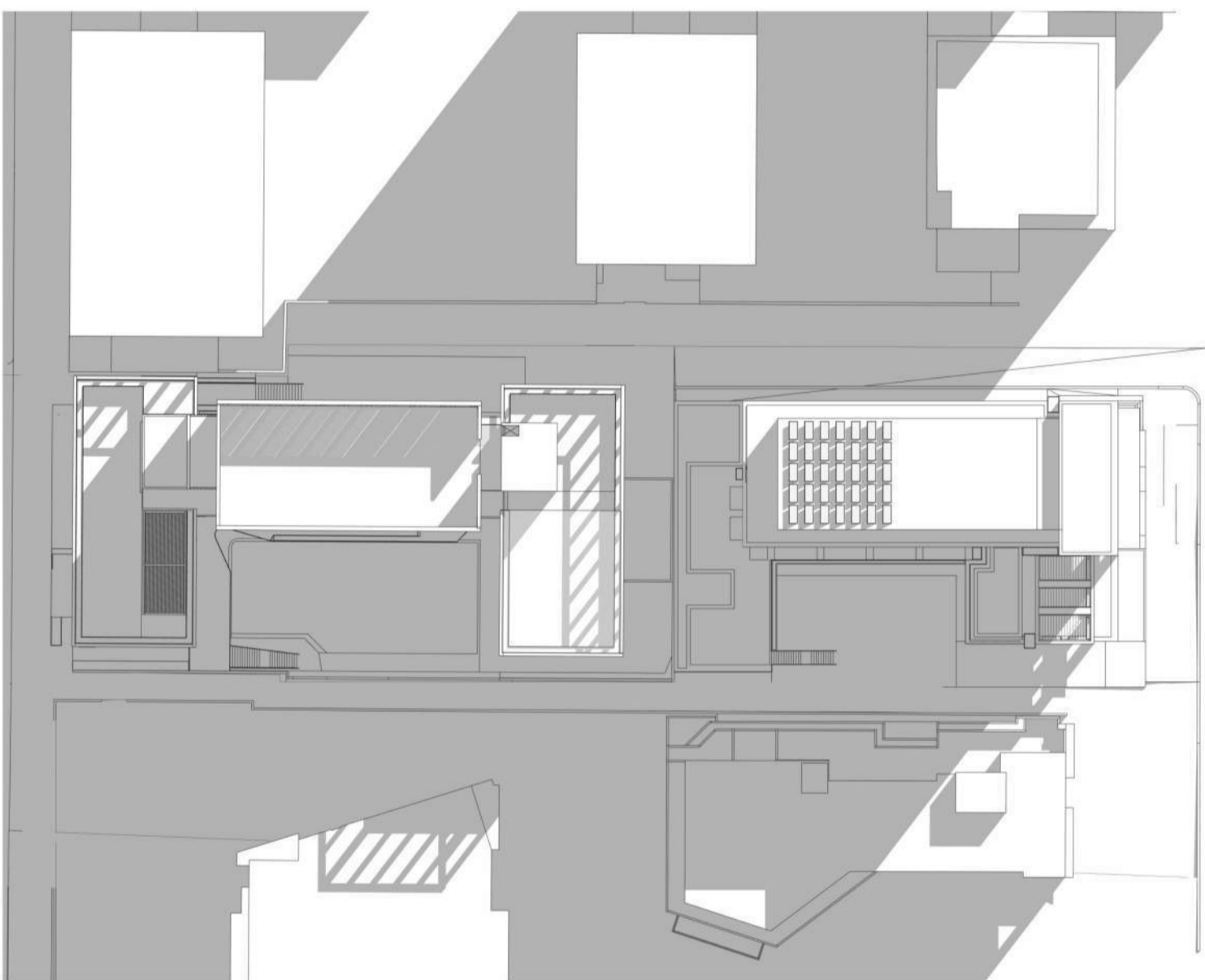
- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9



Winter Solstice 0900



Winter Solstice 1200



Winter Solstice 1500

IGLU MASCOT II
13A CHURCH AVE



Shadow analysis diagrams - Winter
Solstice

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

C	04/10/24	For Revised DA	MM	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Scale	As indicated	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:08:52 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	Revision
Drawing no.	A21.001	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

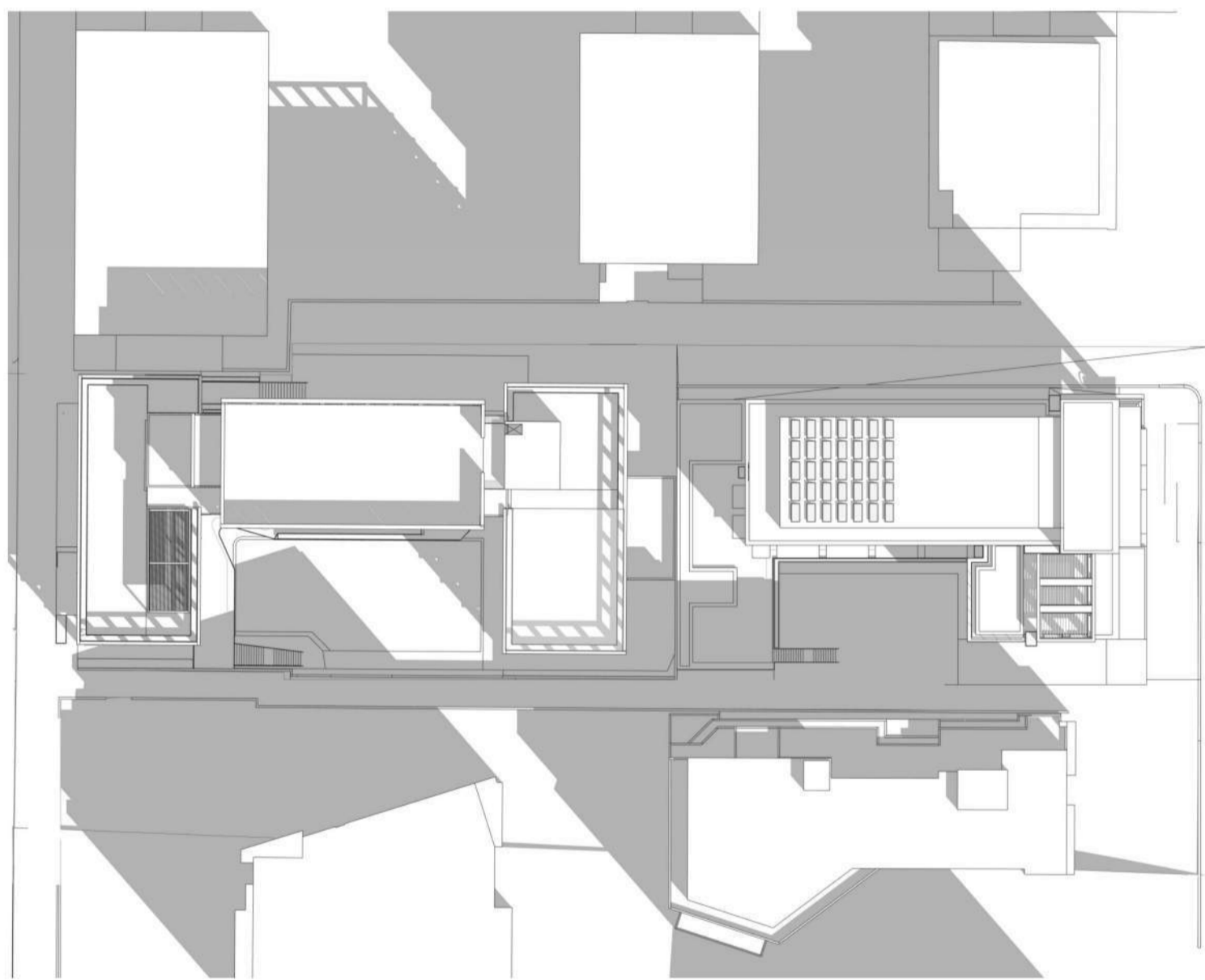
Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

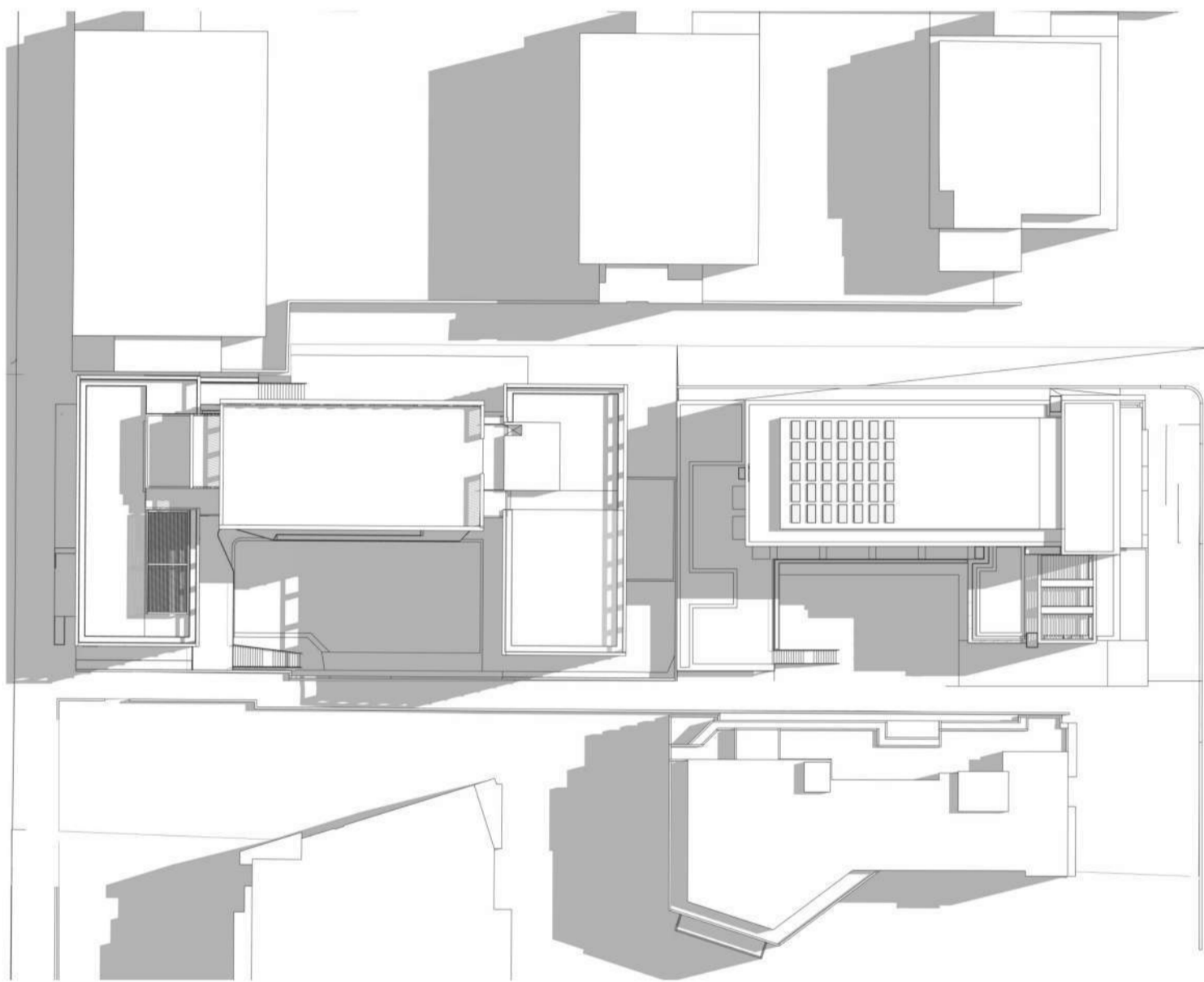
BATESSMART™

Schedule of changes:

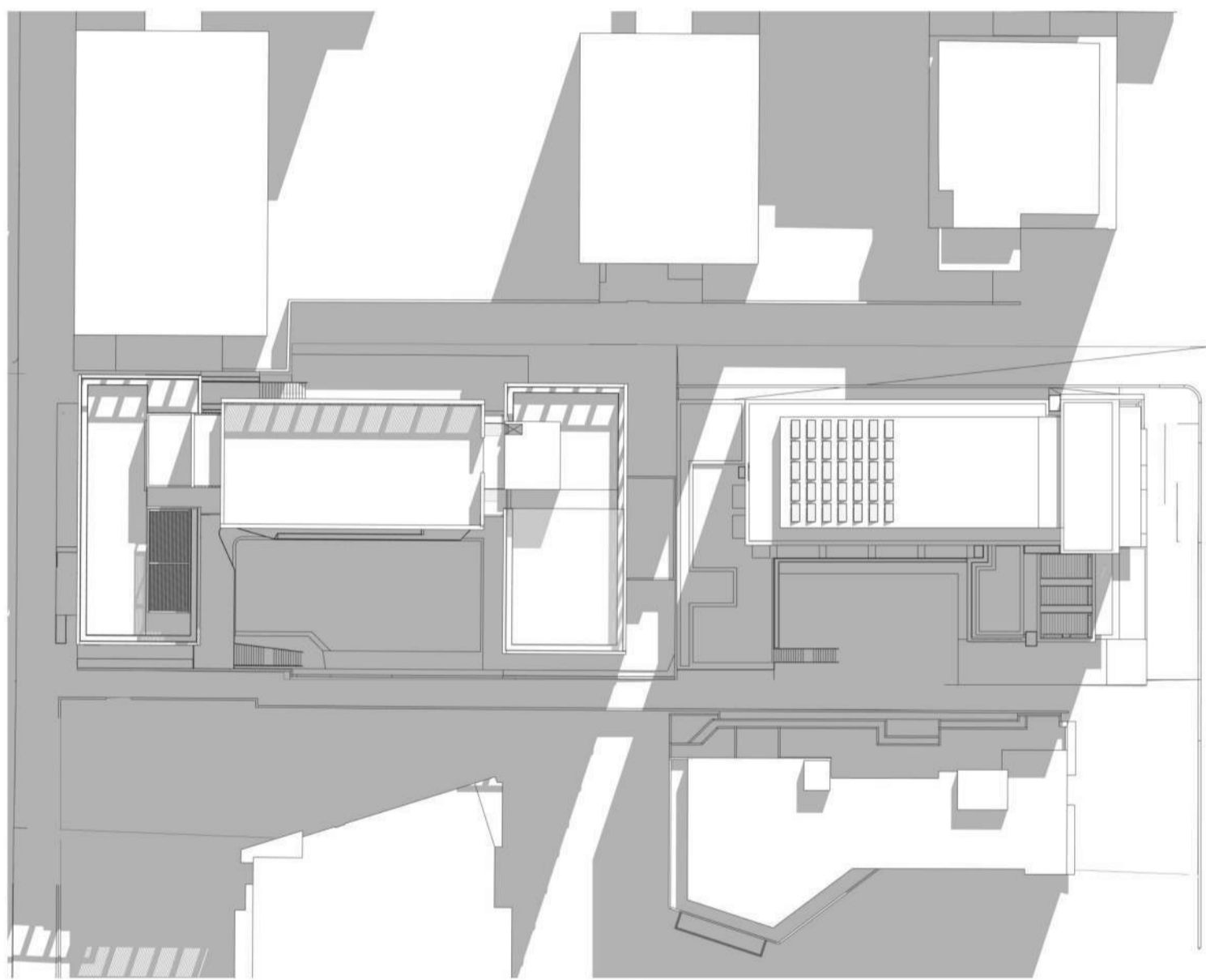
- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9



Spring Equinox 0900



Spring Equinox 1200



Spring Equinox 1500

IGLU MASCOT II
13A CHURCH AVE



Shadow analysis diagrams -
Equinox

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DH/CC/DC	HC
Revision	Date	Description	Initial	Checked

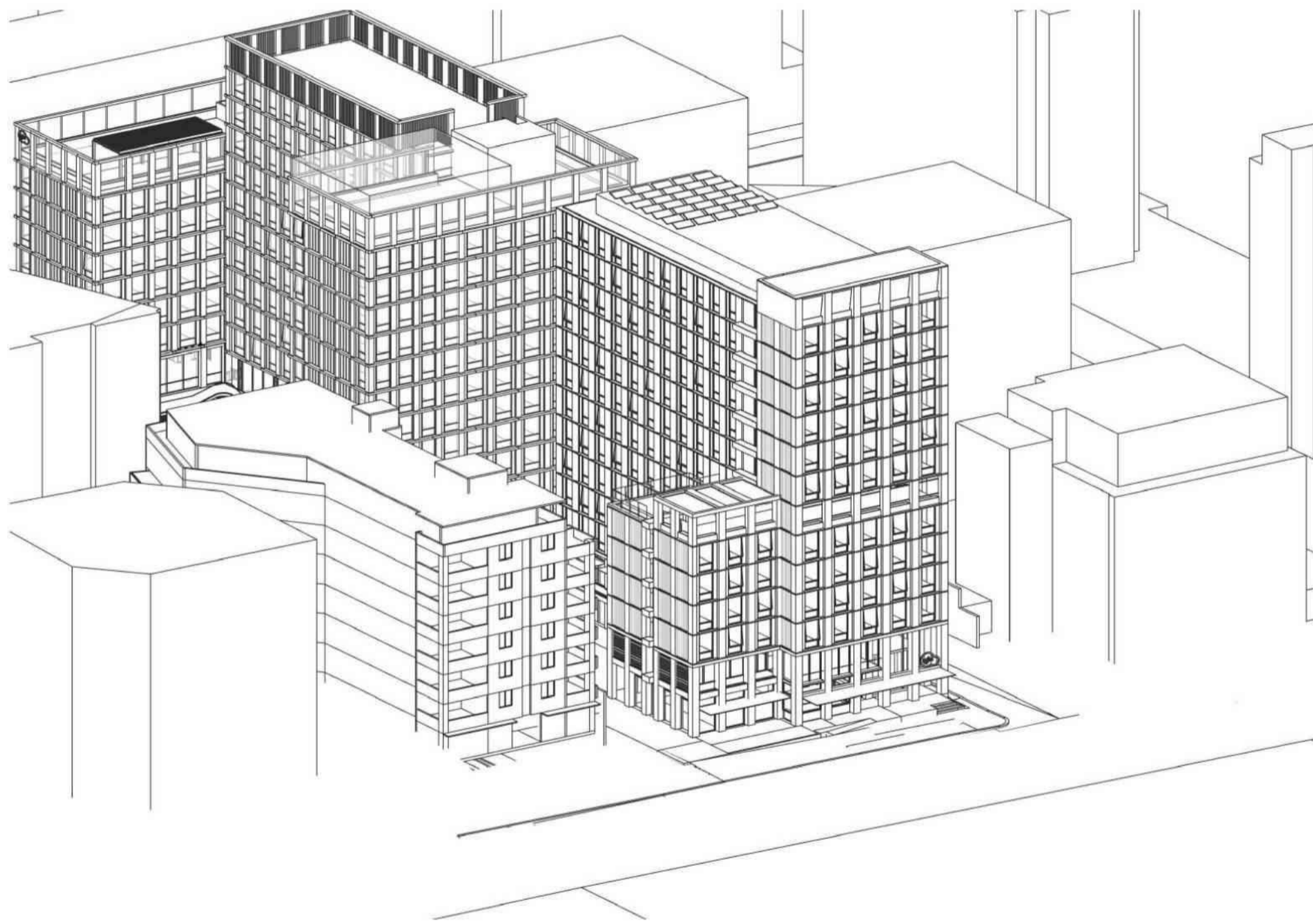
Scale	As indicated	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:09:09 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	Revision
Drawing no.	A21.002	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

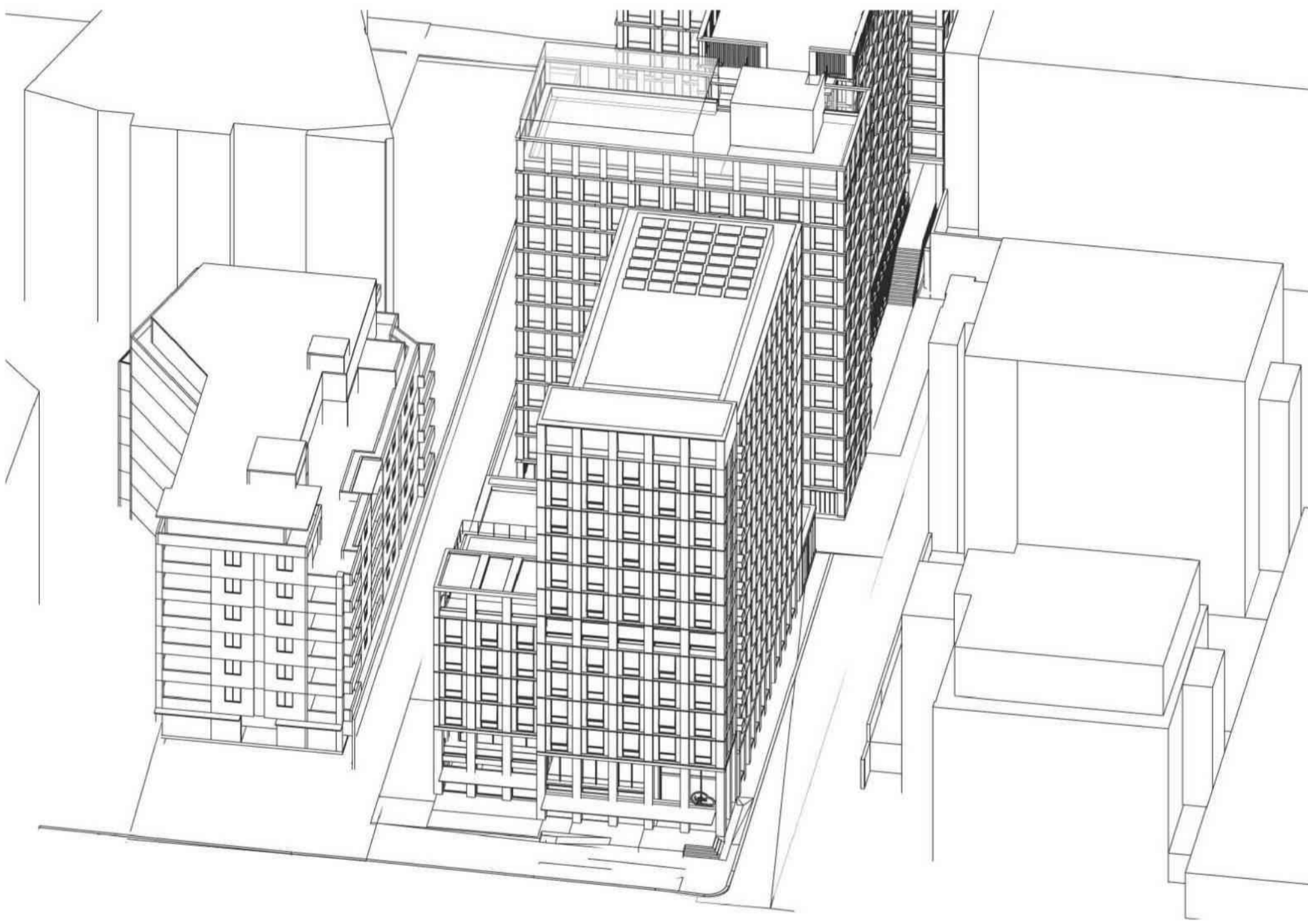
Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

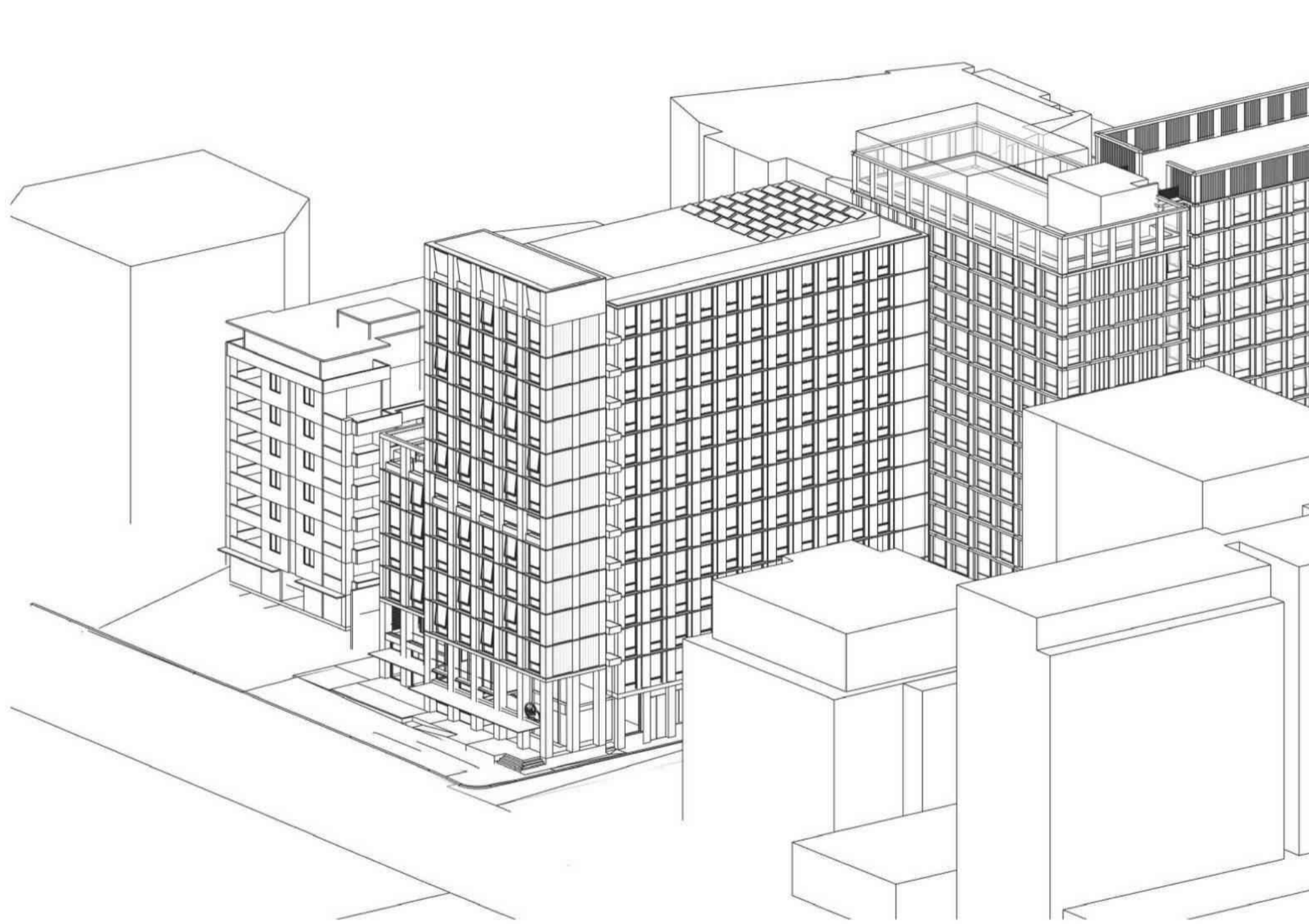
BATESSMART™



Winter Solstice 0900



Winter Solstice 1200



Winter Solstice 1500

Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9

IGLU MASCOT II
13A CHURCH AVE



Views from the sun - Winter
Solstice

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

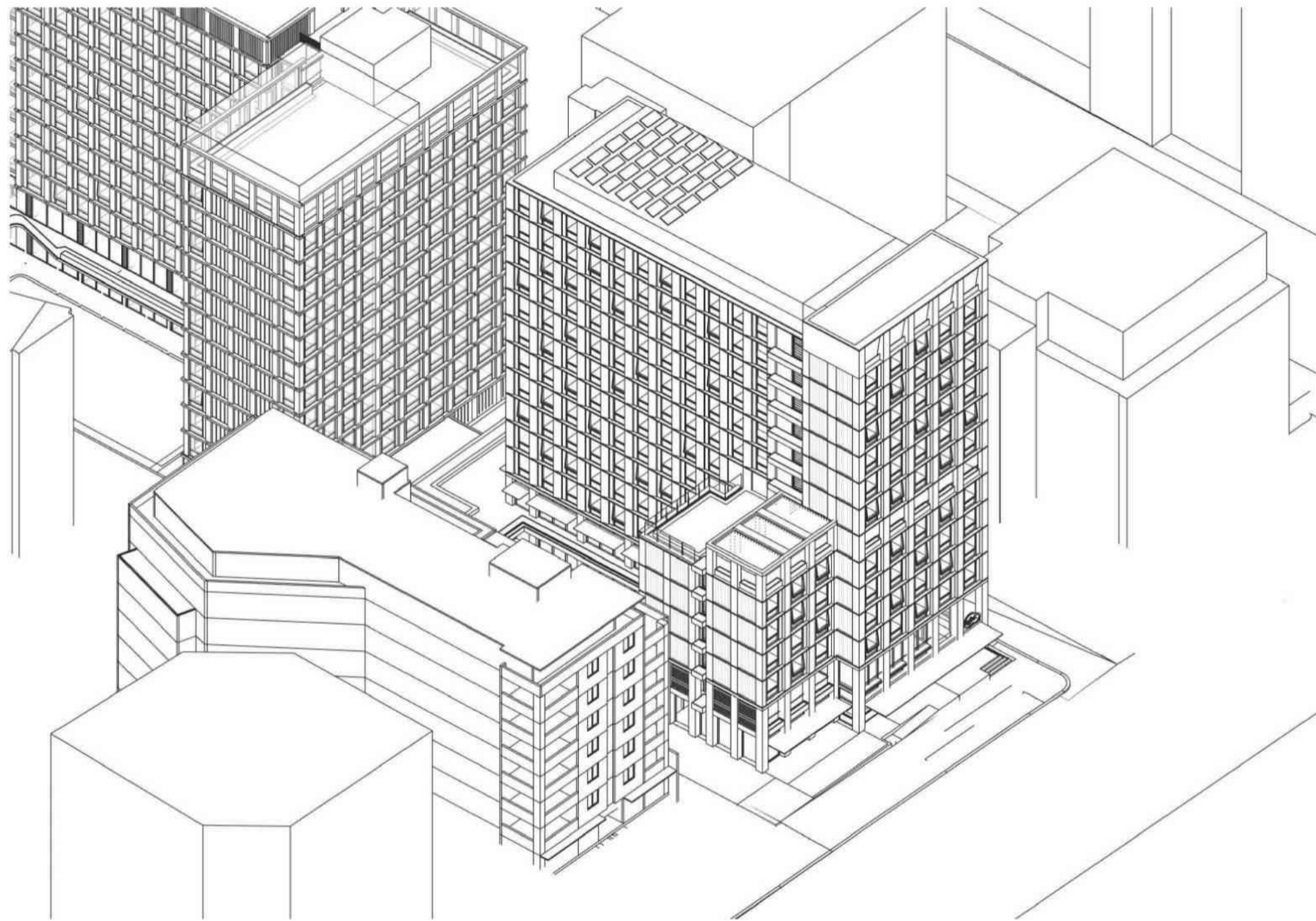
Scale	1 : 100	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:13:19 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayxux.rvt	Revision
Drawing no.	A21.003	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

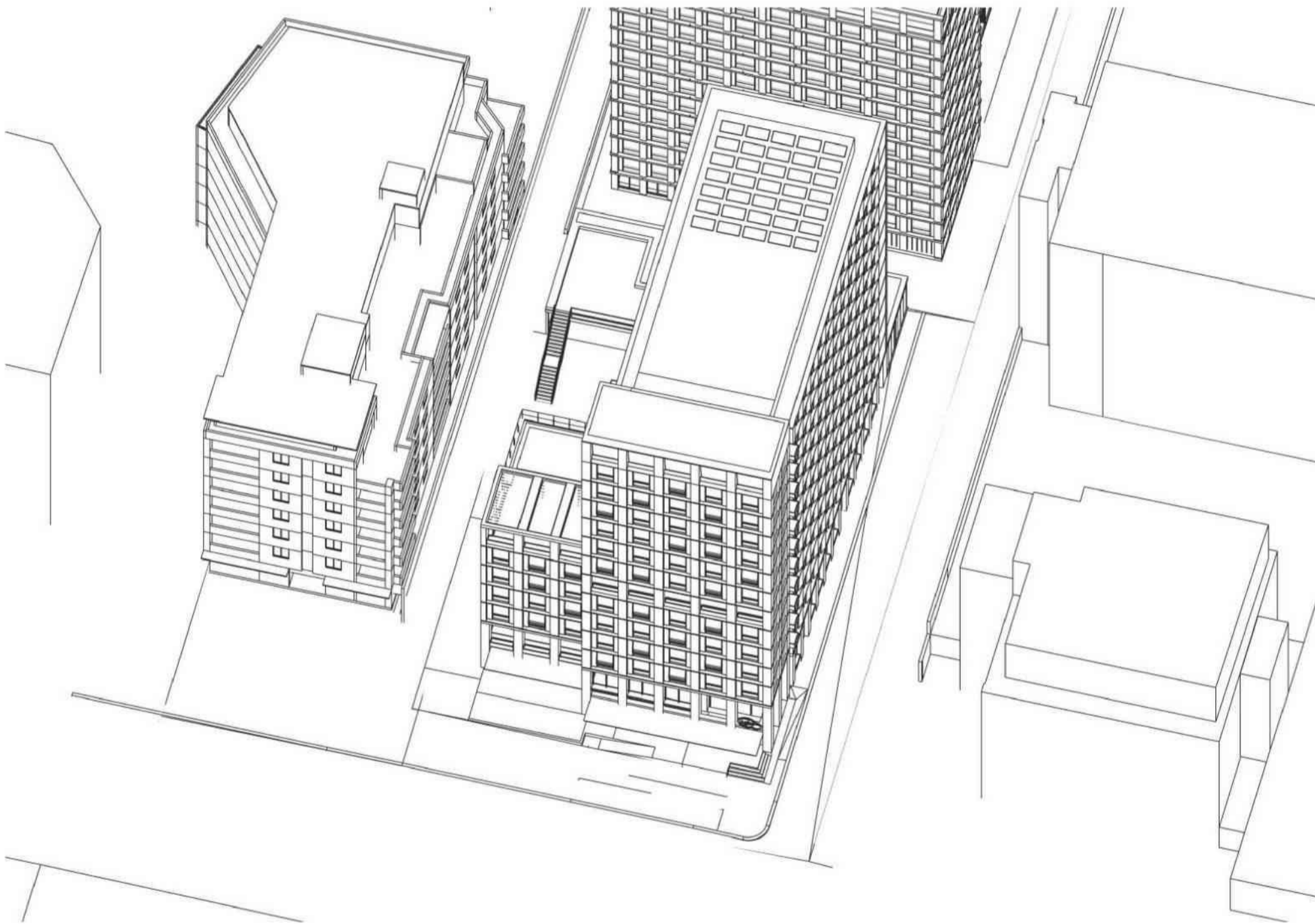
Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

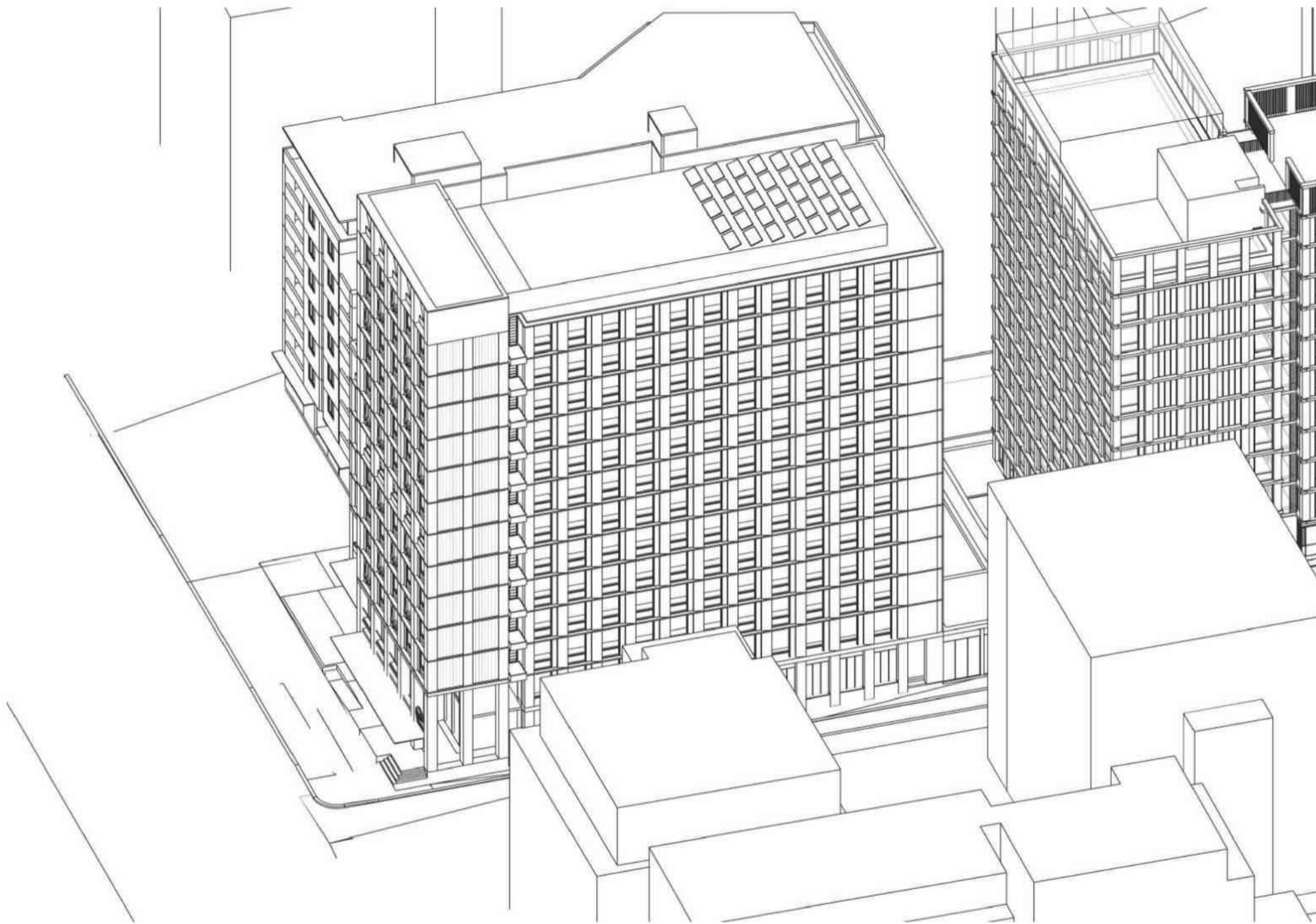




Spring Equinox 0900



Spring Equinox 1200



Spring Equinox 1500

Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9

IGLU MASCOT II
13A CHURCH AVE



Views from the sun - Equinox

C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

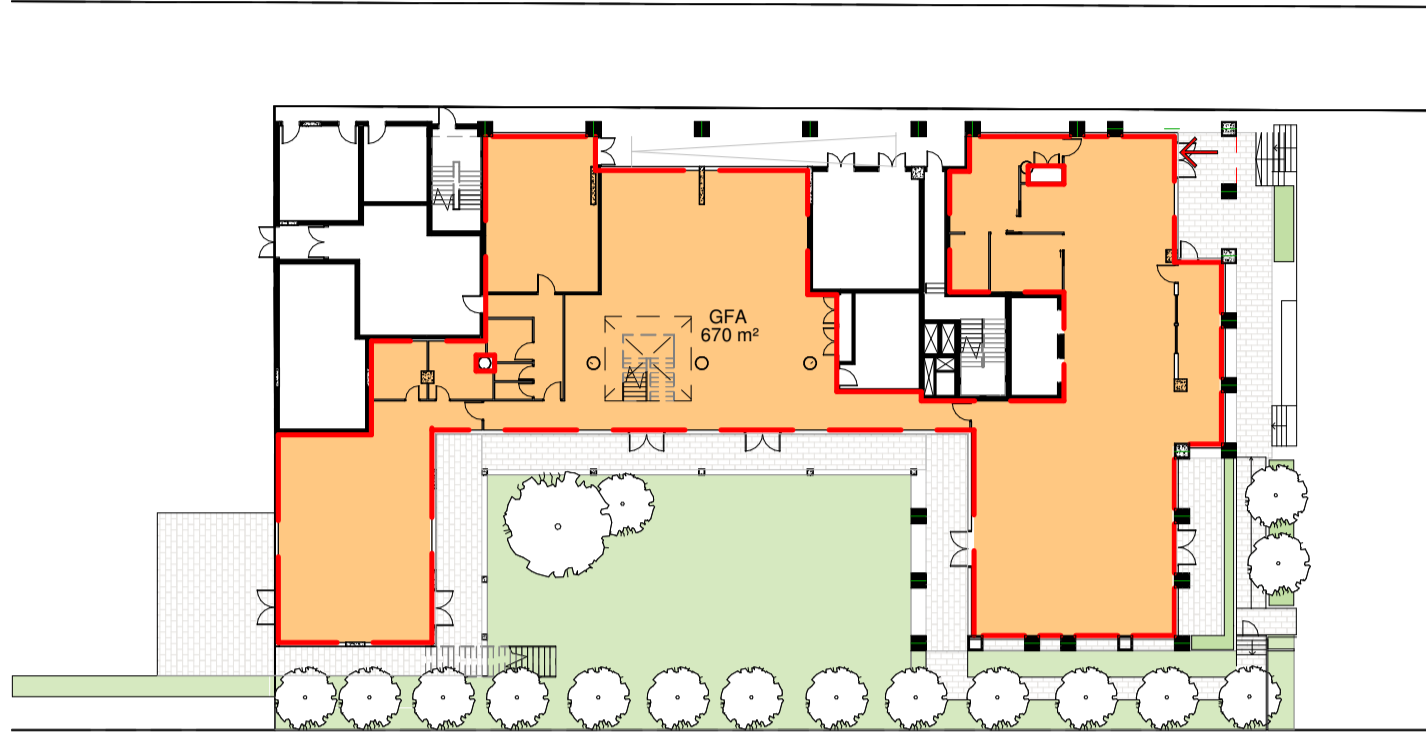
Scale	1 : 100	@ A1	
Drawn	Author	Checked	Checker
Project no.	S12778		
Status	Development Application		
Plot Date	4/10/2024 2:13:24 PM		
BIM	E:\Users\CAC\Documents\241003_13ACHURHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt		
Drawing no.	A21.004	Revision	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

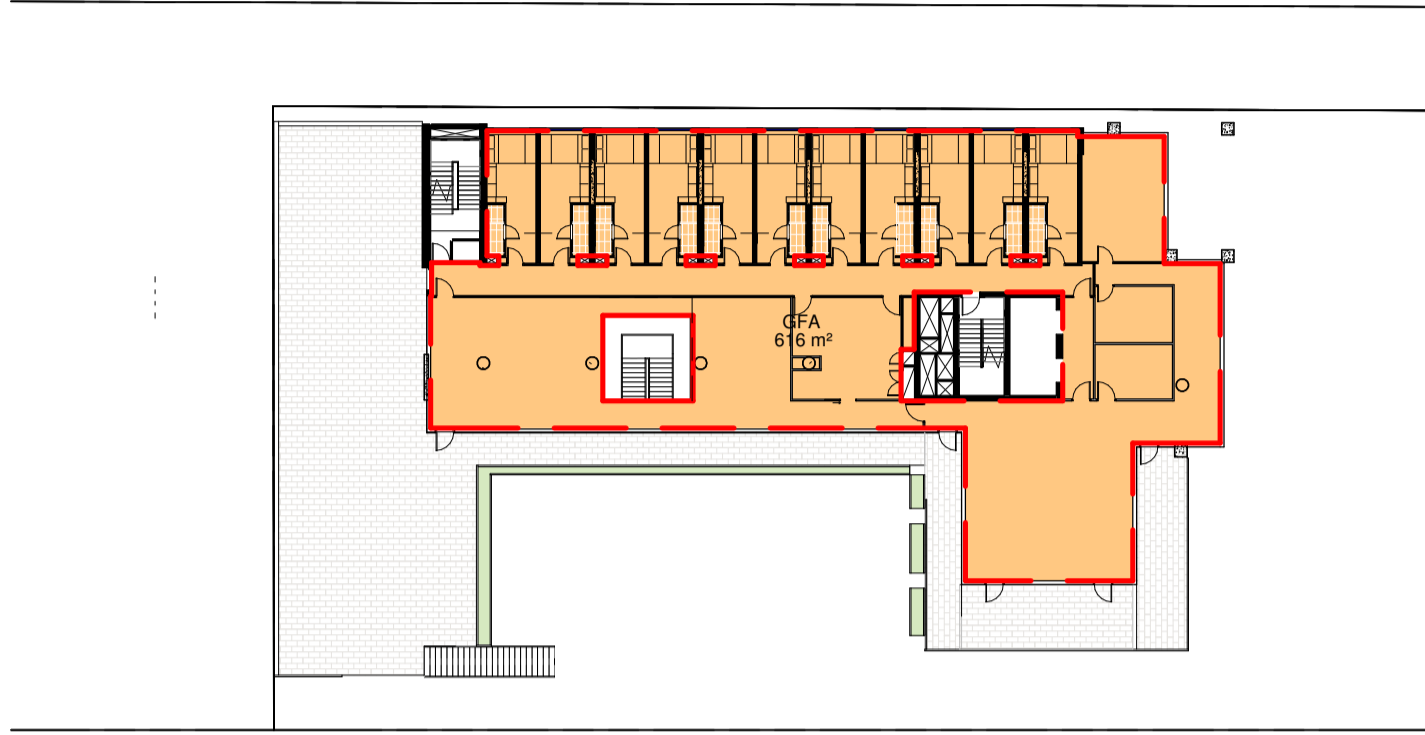
Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

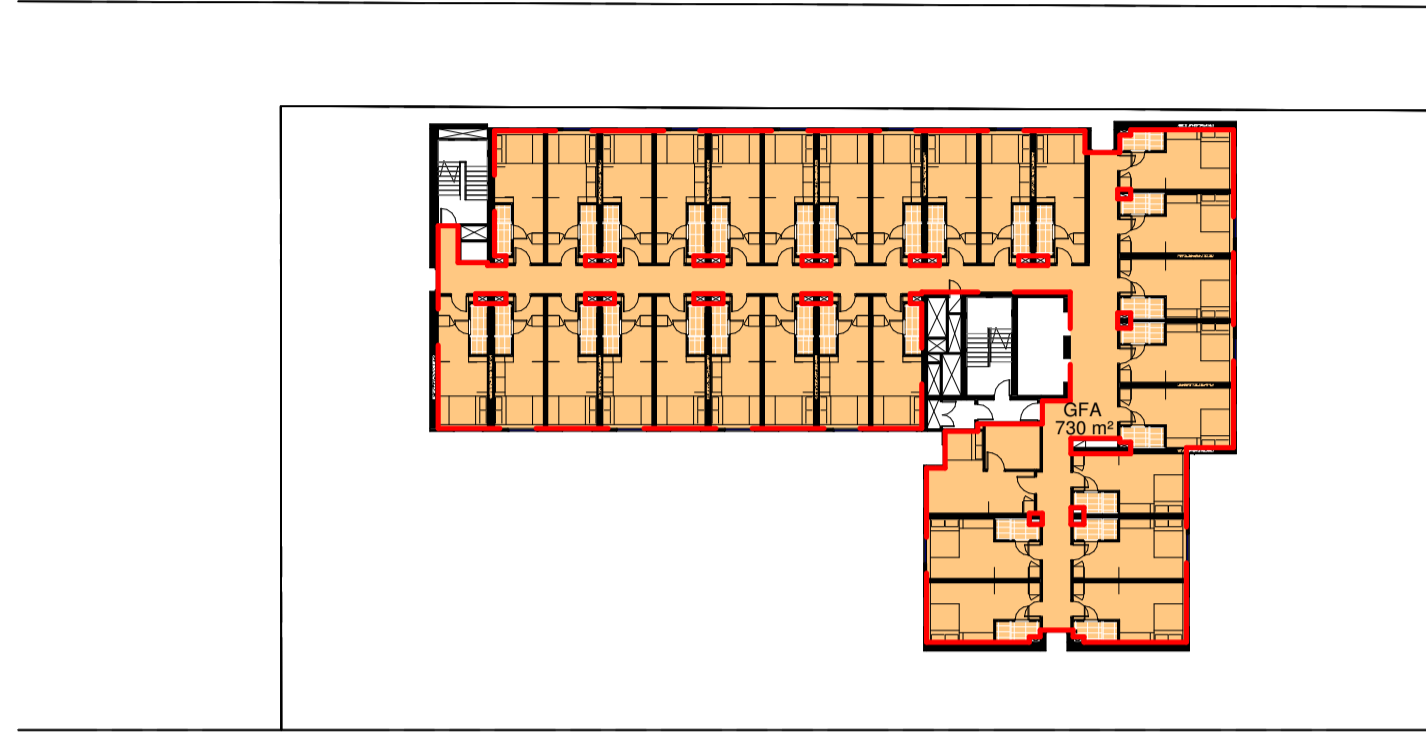




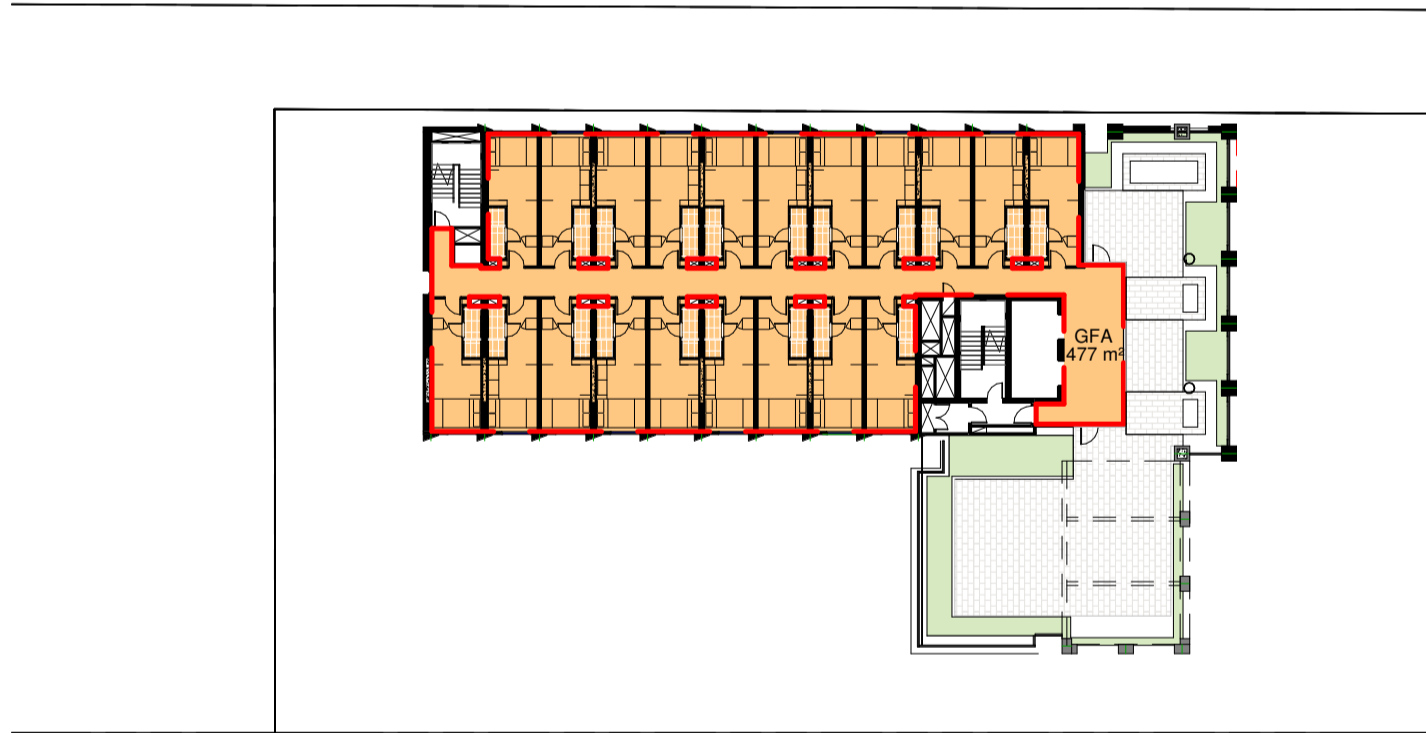
1 GROUND FLOOR
GFA: 670m² 1 : 400



2 LEVEL 01
GFA: 616m² 1 : 400



3 LEVEL 02
GFA: 730m² 1 : 400



4 LEVEL 06
GFA: 477m² 1 : 400



5 LEVEL 07
GFA: 584m² 1 : 400

Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL amended to 48.9

**IGLU MASCOT II
13A CHURCH AVE**



Gross Floor Area Calculation Plans

C	04/10/24	For Revised DA	MH	CC
B	31/05/24	For DA RFI	CC/EM	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	As indicated	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:08:16 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayxux.rvt	Revision
Drawing no.	A22.001	C

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400





Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natual concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9

IGLU MASCOT II
13A CHURCH AVE

View east along Church Street
Render 1



B	04/10/24	For Revised DA	MH	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	1 : 100	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:09:20 PM	
BIM	@:\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	Revision
Drawing no.	A23.001	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART™



Schedule of changes:

- 1) End of corridor planters reinstated on the East and West facade.
- 2) Roof changed to exposed natural concrete
- 3) Podium changed to exposed natural concrete
- 4) Ground level awning removed on north facade
- 5) Typical facade changed. Addition of horizontal panel
- 6) Facade changed to solid aluminium
- 7) RL. amended to 48.9

IGLU MASCOT II
13A CHURCH AVE

View west along Church Street
Render 2



B	04/10/24	For Revised DA	MH	CC
A	18/12/23	Development Application	DE/CC/DC	HC
Revision	Date	Description	Initial	Checked

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	1 : 100	@ A1
Drawn	Author	Checked Checker
Project no.	S12778	
Status	Development Application	
Plot Date	4/10/2024 2:09:22 PM	
BIM	@\Users\CAC\Documents\241003_13ACHURCHAVE_BS_FOR DA AMENDMENTS-ARCH_R2023_ccayseux.rvt	Revision
Drawing no.	A23.002	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART™